

CONFIRM ALL DIMENSIONS ONSITE

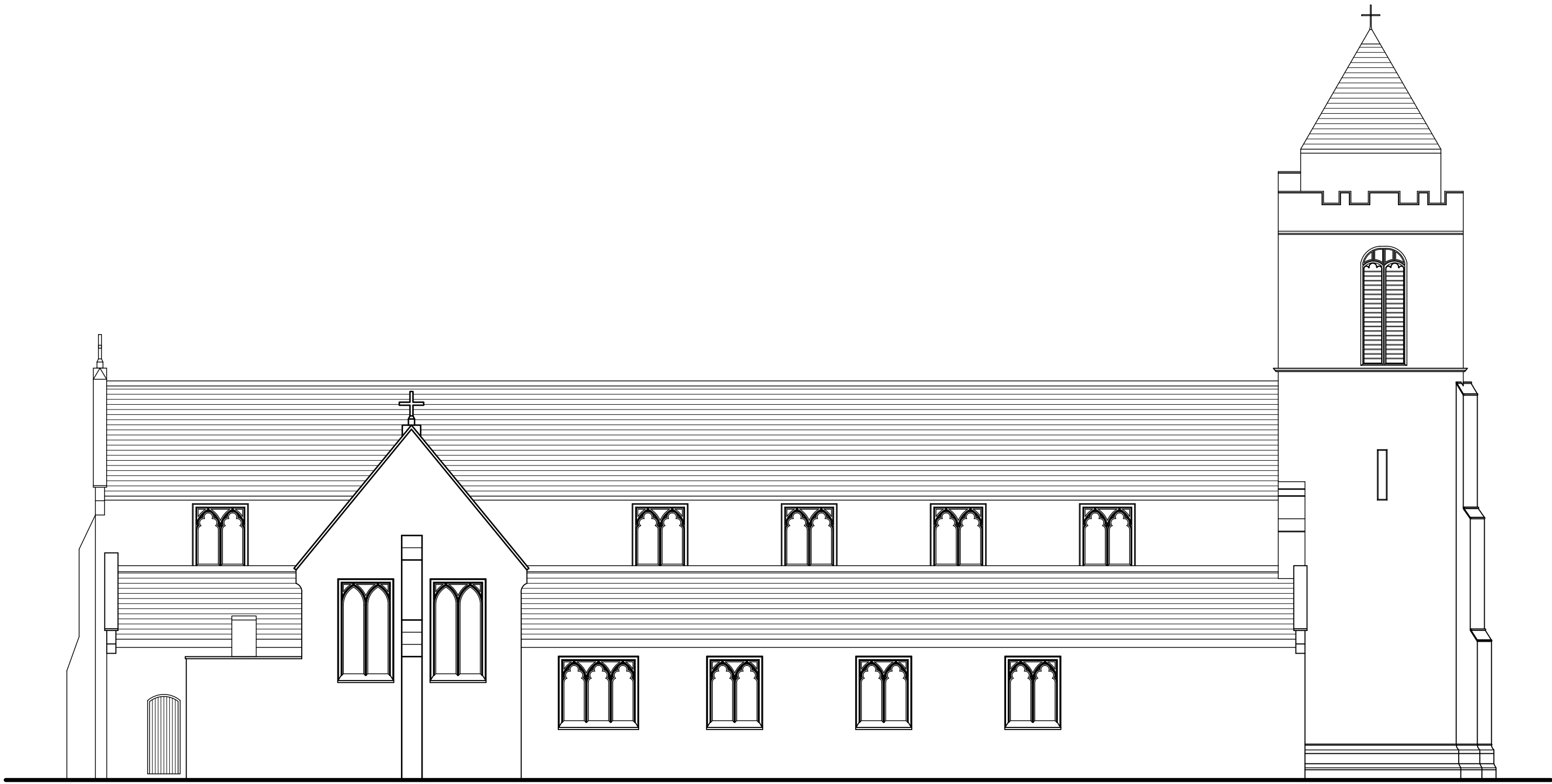


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Drawing Status	
F	Feasibility
S	Sketch Design
P	Planning
B	Building Control
D	Developed Design
M	Measurement
T	Tender
C	Construction
R	Record

[illegible]

Bridgegate House, 5 Bridge Place
Chester CH1 1SA
(+44) 01244 350 063
chester@insall-architects.co.uk



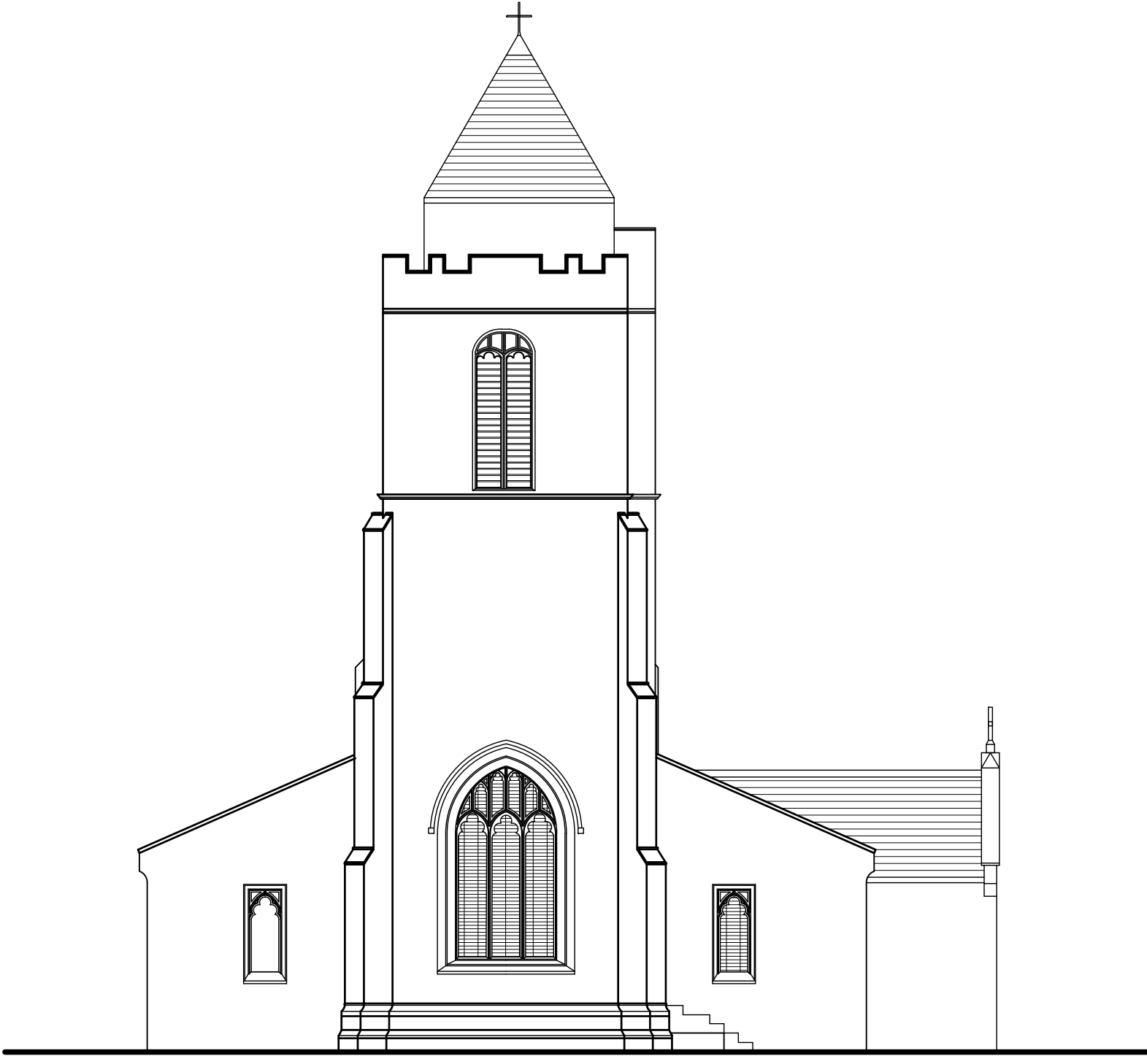
North Elevation



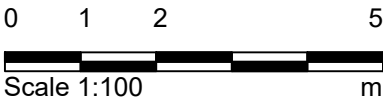
East Elevation



South Elevation



West Elevation



<div>Notes</div> <div><div><div>1.</div><div>Any dwg format drawing is to be read in conjunction with and at the scale of the accompanying pdf.</div></div><div><div>2.</div><div>Where colours other than black or grey are used, the drawing must be plotted in colour.</div></div><div><div>3.</div><div>For status 'C' (Construction) drawings all dimensions are to be checked on site by the contractor, scaling is for Local Authority purposes only.</div></div><div><div>4.</div><div>Unless otherwise indicated, all dimensions are in millimeters.</div></div><div><div>5.</div><div>All information on this drawing is to be read in conjunction with the relevant Donald Insall Associates specification and trade contractors' drawings and information by specialists.</div></div><div><div>6.</div><div>In the event of any discrepancy, please contact us immediately.</div></div><div><div>7.</div><div>This drawing may contain survey information by others and is to be used solely for the purposes for which it was issued.</div></div><div><div>8.</div><div>These are uncontrolled documents issued for information purposes only. If you have any queries regarding the drawings, please contact DIA immediately.</div></div><div><div>9.</div><div>Please note DIA cannot be held responsible for any errors arising from changes made to an uncontrolled dwg file.</div></div></div> <div><div>© 2019 DONALD INSALL ASSOCIATES LTD</div></div>	<div>Drawing Status</div> <div><div>F</div><div>Feasibility</div></div> <div><div>S</div><div>Sketch Design</div></div> <div><div>P</div><div>Planning</div></div> <div><div>B</div><div>Building Control</div></div> <div><div>D</div><div>Developed Design</div></div> <div><div>M</div><div>Measurement</div></div> <div><div>T</div><div>Tender</div></div> <div><div>C</div><div>Construction</div></div> <div><div>R</div><div>Record</div></div>
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Donald Insall Associates

Chartered Architects and Historic Building Consultants

St James' Church, Christleton

Elevations

As Existing

Project

CD.STJC.04

Scale (A1)

1:100

No

1200

Status

4T

Revision

0

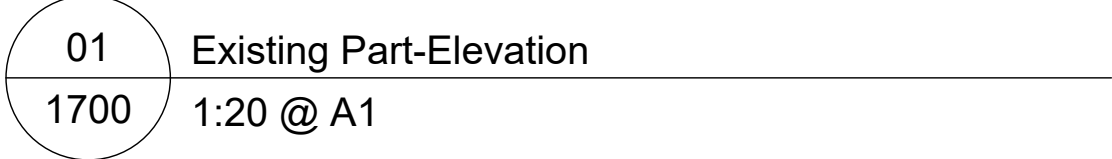
Bridgegate House, 5 Bridge Place

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chester@insall-architects.co.uk

Confirm all dimensions onsite



1. Any dwg format drawing is to be read in conjunction with and at the scale of the accompanying pdf.
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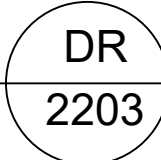
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Rev	Date	Dwn	Auth	Revision
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Rev	Date	Dwn	Auth	Revision
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tatus

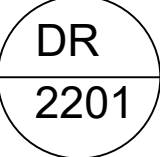
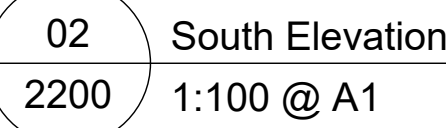
tatus	Revision
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01	North Elevation
2200	1:20 @ A1

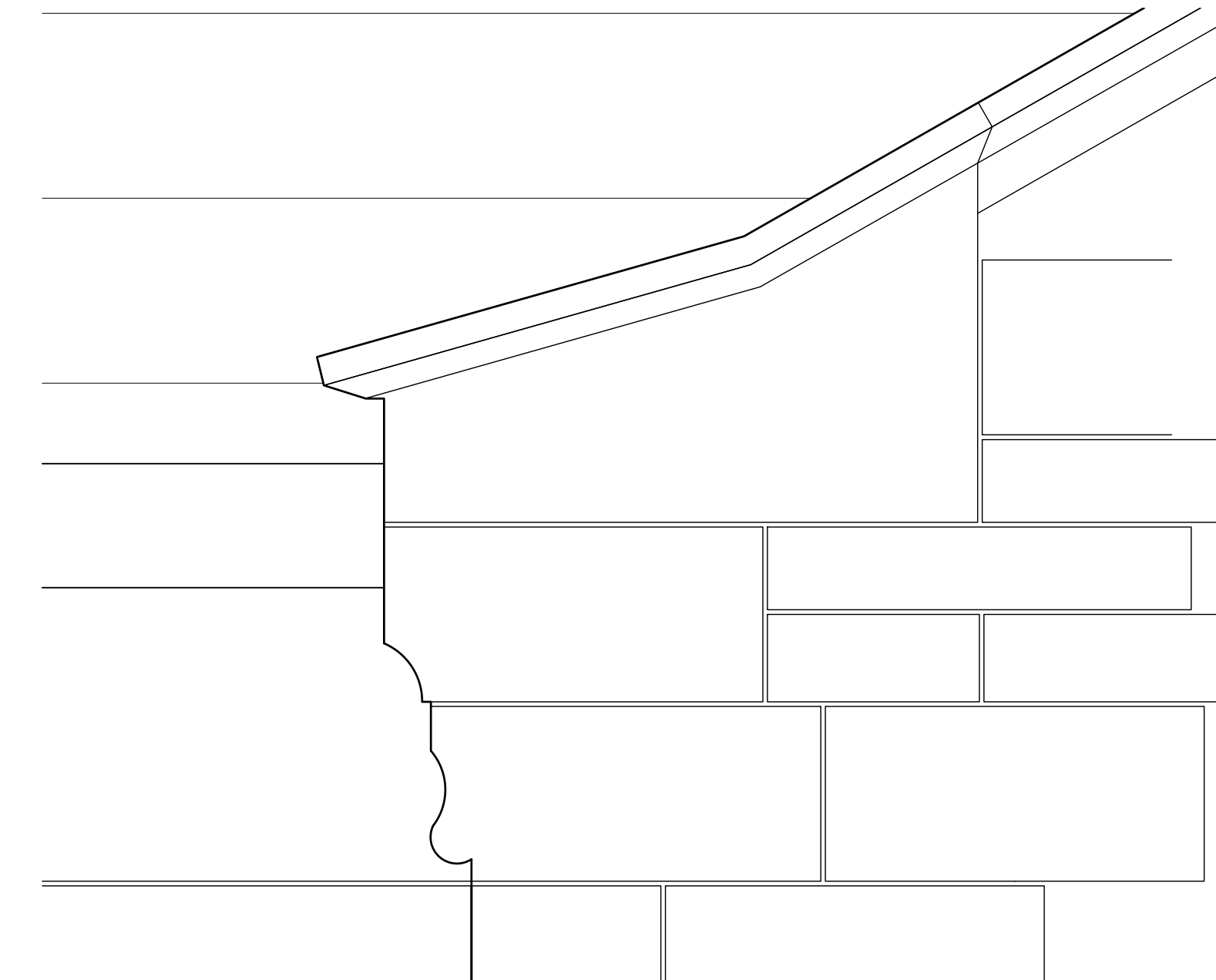
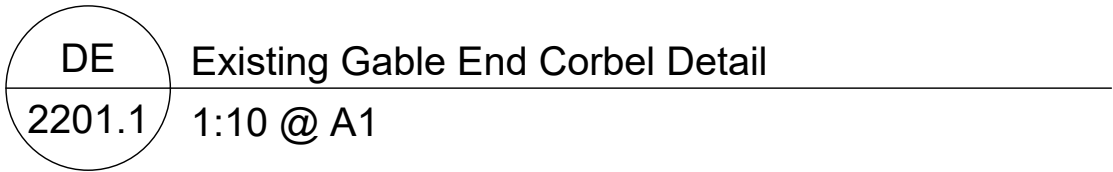


03	East Elevation
2200	1:100 @ A1

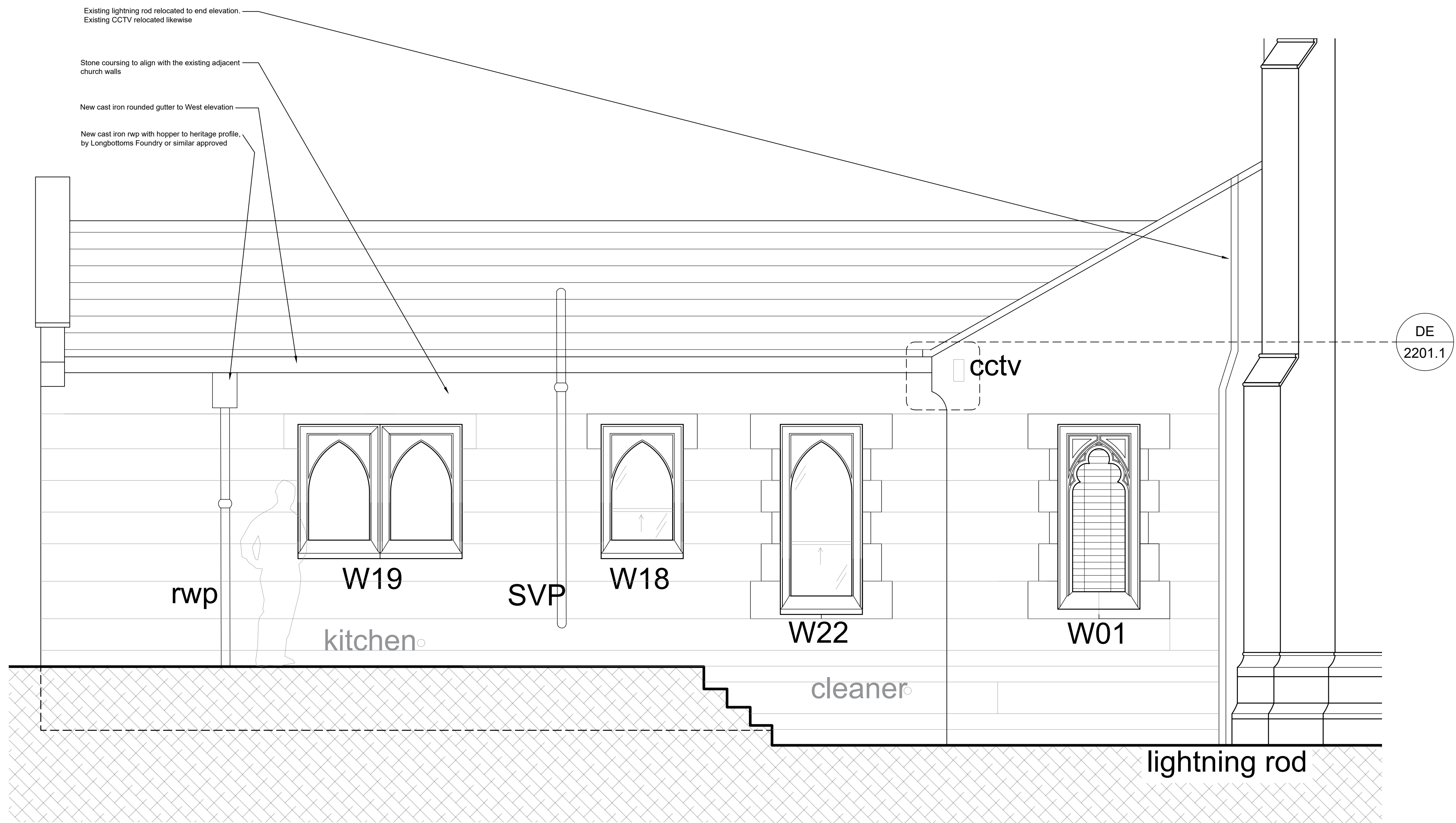


04	West Elevation
2200	1:100 @ A1

[illegible]



DE	Proposed Gable End Corbel Detail
2201.1	1:10 @ A1



01	West Elevation
2201	1:50 @ A1

General Notes

ROOF

Natural grey slates to match existing with lead flashings and painted cast iron rainwater goods.

WALLS

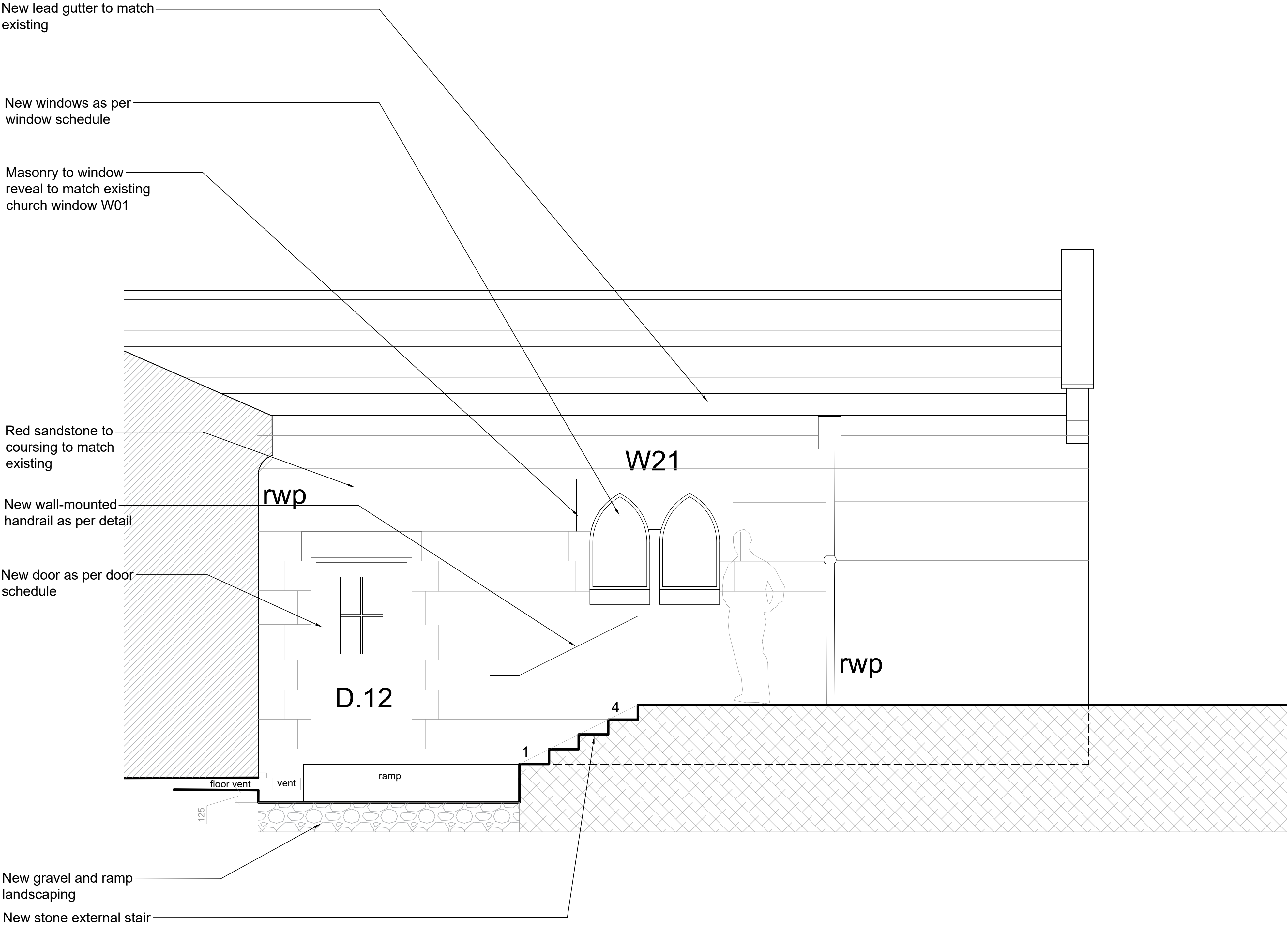
Red Sandstone for both walls and lintels.

WINDOWS

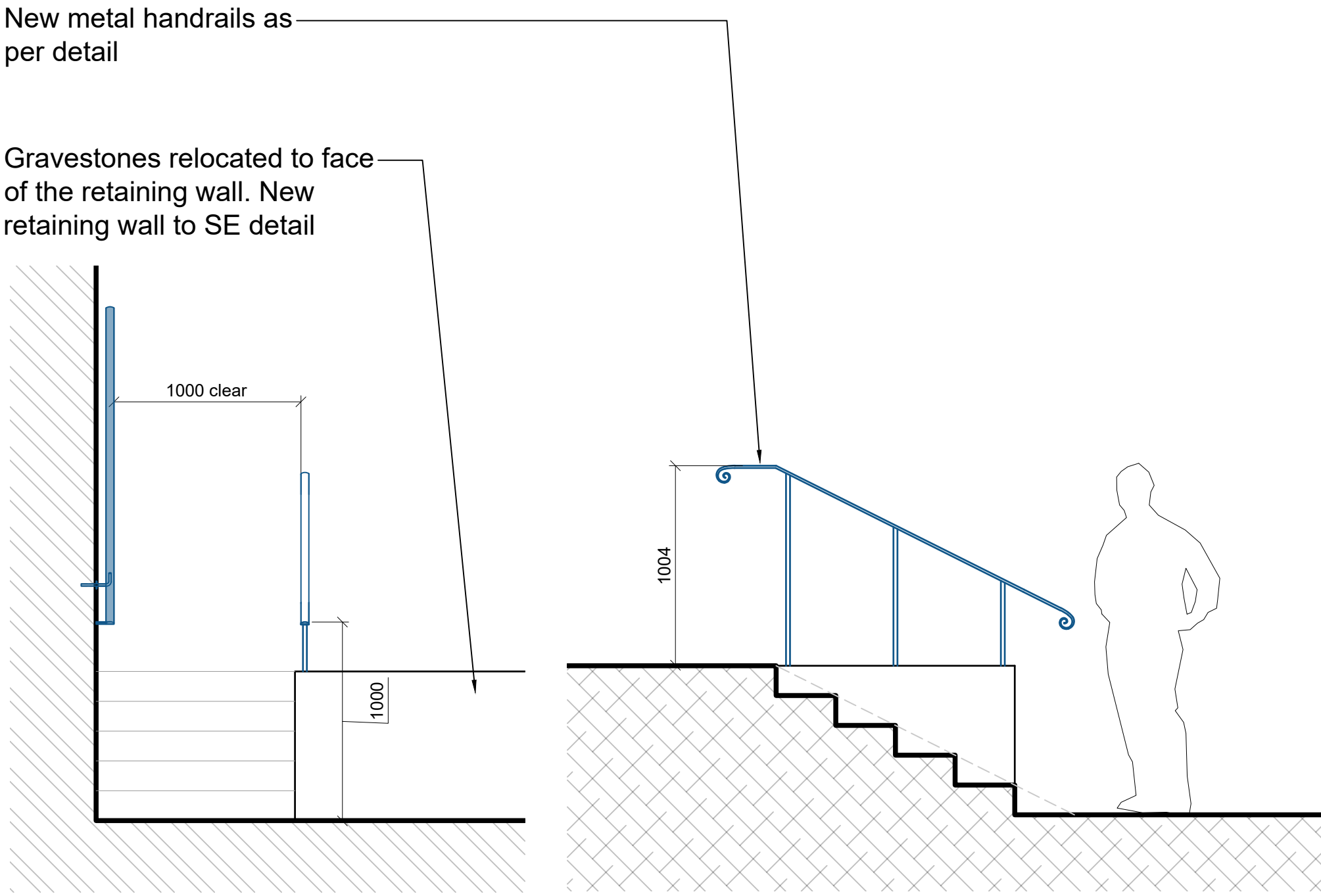
Dark grey metal frame windows with clear or frosted glass to suit.

DOORS

Stained timber with metal ironmongery.



01 East Elevation
2202 1:25 @ A1



02 Handrail Details to East Elevation
2202 1:25 @ A1

General Notes

- ROOF
- Natural grey slates to match existing with lead flashings and painted cast iron rainwater goods.
- WALLS
- Red Sandstone for both walls and lintels.
- WINDOWS
- Dark grey metal frame windows with clear or frosted glass to suit.
- DOORS
- Stained timber with metal ironmongery.

<div>Notes</div> <div><div>1. Any dwg format drawing is to be read in conjunction with and at the scale of the accompanying pdf.</div><div>2. Where colours other than black or grey are used, the drawing must be plotted in colour.</div><div>3. For status 'C' (Construction) drawings all dimensions are to be checked on site by the contractor, scaling is for Local Authority purposes only.</div><div>4. Unless otherwise indicated, all dimensions are in millimeters.</div><div>5. All information on this drawing is to be read in conjunction with the relevant Donald Insall Associates specification and trade contractors' drawings and information by specialists.</div><div>6. In the event of any discrepancy, please contact us immediately.</div><div>7. This drawing may contain survey information by others and is to be used solely for the purposes for which it was issued.</div><div>8. These are uncontrolled documents issued for information purposes only. If you have any queries regarding the drawings, please contact DIA immediately.</div><div>9. Please note DIA cannot be held responsible for any errors arising from changes made to an uncontrolled dwg file.</div></div>	<div>Drawing Status</div> <div><div>F</div> Feasibility</div> <div><div>S</div> Sketch Design</div> <div><div>P</div> Planning</div> <div><div>B</div> Building Control</div> <div><div>D</div> Developed Design</div> <div><div>M</div> Measurement</div> <div><div>T</div> Tender</div> <div><div>C</div> Construction</div> <div><div>R</div> Record</div>
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St James' Church, Christleton

East Elevation
As Proposed

Project
CD.STJC.04

Scale (A1)
1:50

No
2202

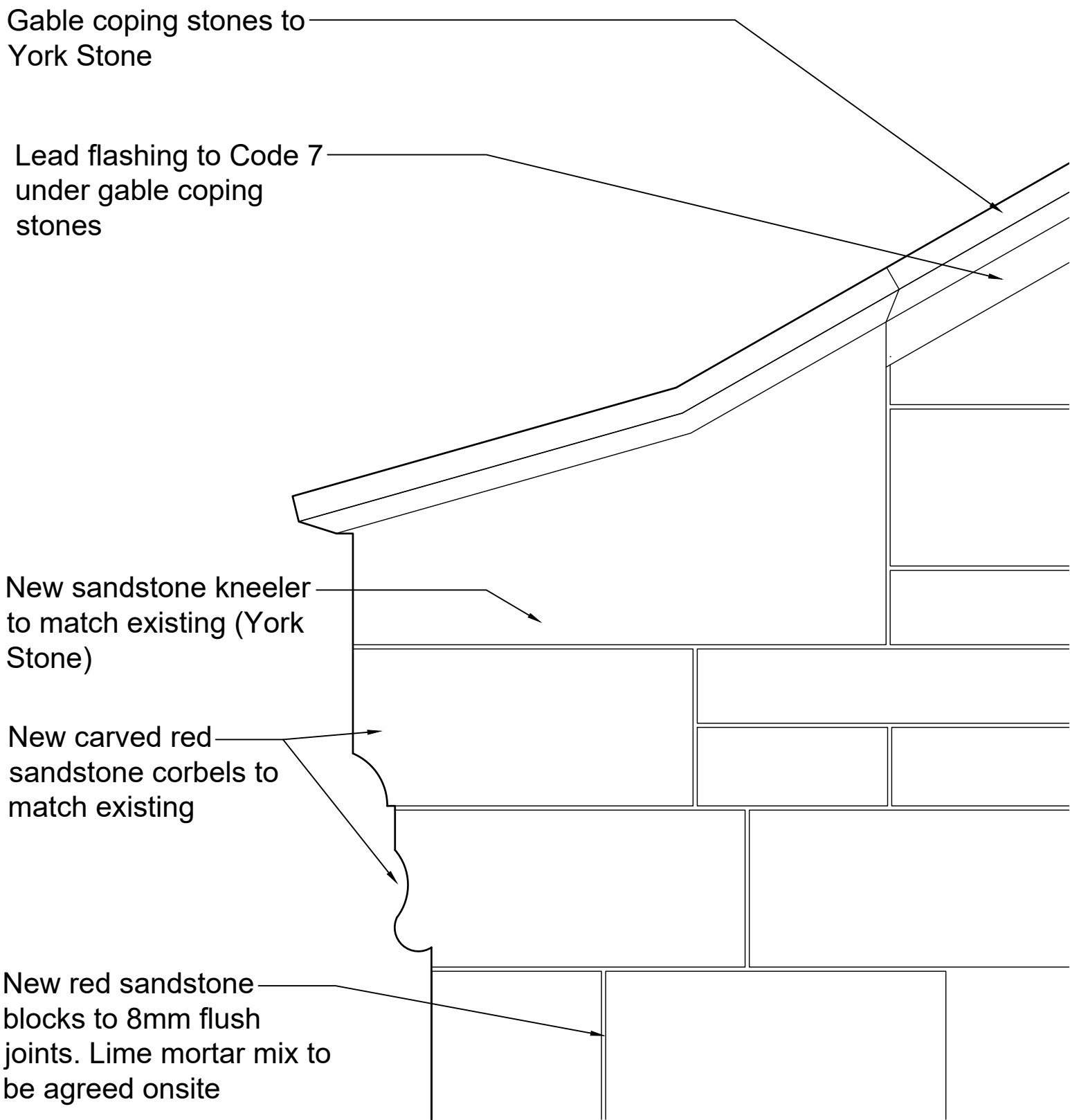
Status
4T

Revision
0

General Notes

- ROOF
- Natural grey slates to match existing with lead flashings and painted cast iron rainwater goods.
- WALLS
- Red Sandstone for both walls and lintels.
- WINDOWS
- Dark grey metal frame windows with clear or frosted glass to suit.
- DOORS
- Stained timber with metal ironmongery.

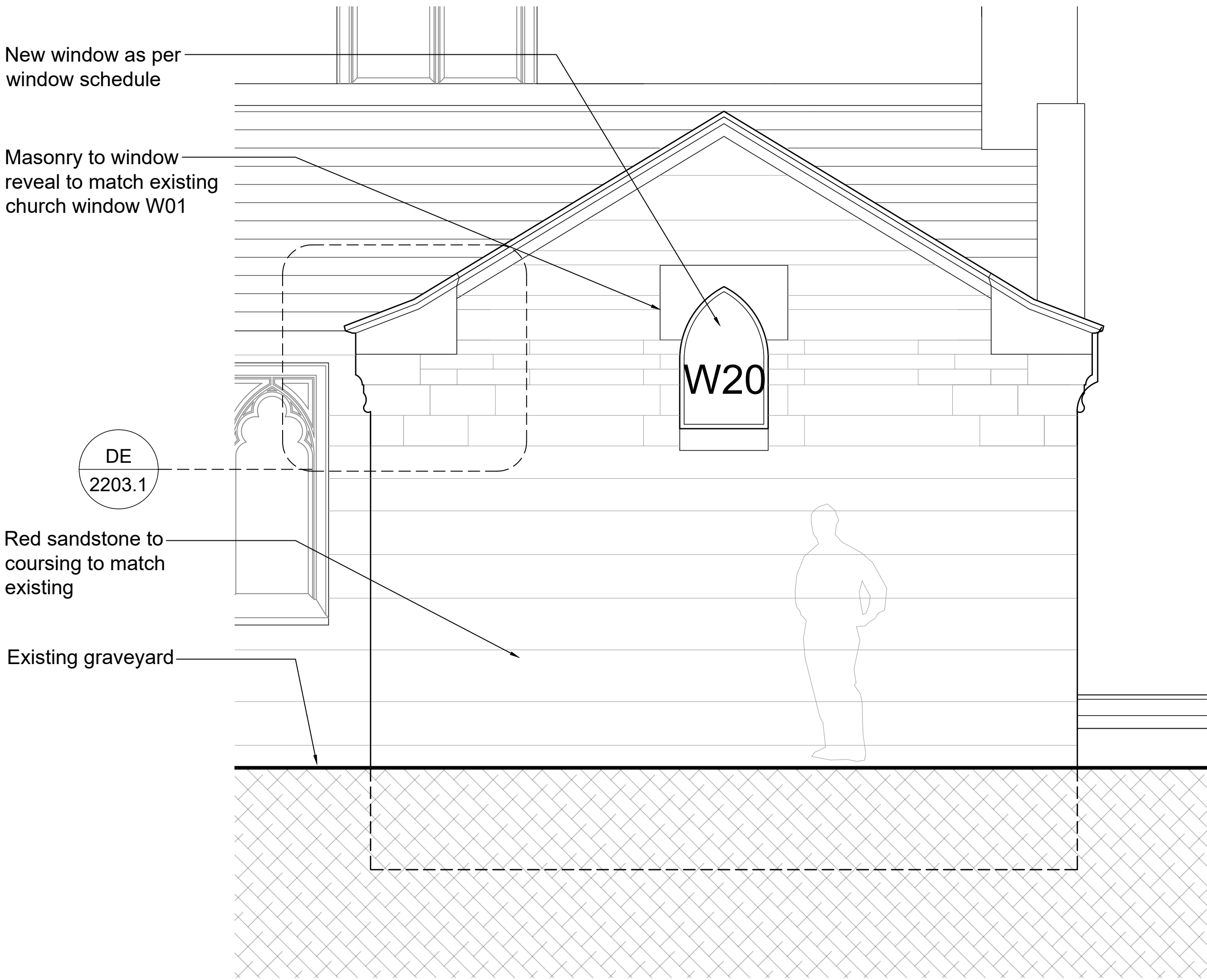
REFERENCE IMAGES OF EXISTING CORBEL DETAIL



Note: this drawing is indicative only, confirm all dimensions and profiles onsite at DE-2201.1

DE
2203.1

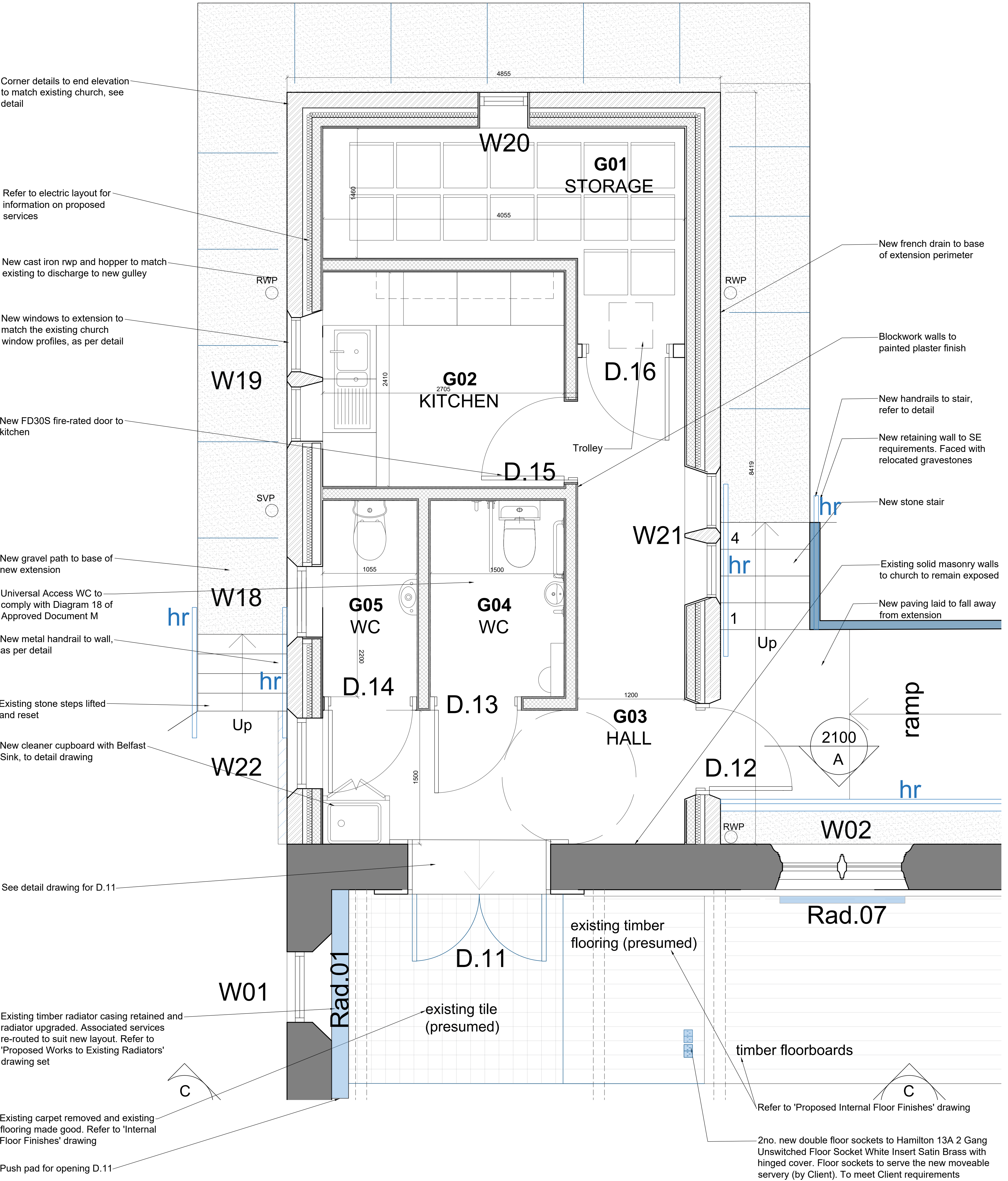
New Proposed Gable End Detail
1:10 @ A1



01
2203

North Elevation
1:25 @ A1

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NOTES

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											<div>Scale (A1)</div> <div>1:20</div>		<div>Status</div> <div>4T</div>				
	<div>© 2019 DONALD INSALL ASSOCIATES LTD</div>										<div>Revision</div> <div>0</div>						
						<div>013-11-23SRS TBInitial Issue</div>											
						<div>RevDateDwnAuthRevision</div>											

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Extension Plan in Detail
As Proposed

General Notes

ROOF

Natural grey slates to match existing with lead flashings and painted cast iron rainwater goods.

WALLS

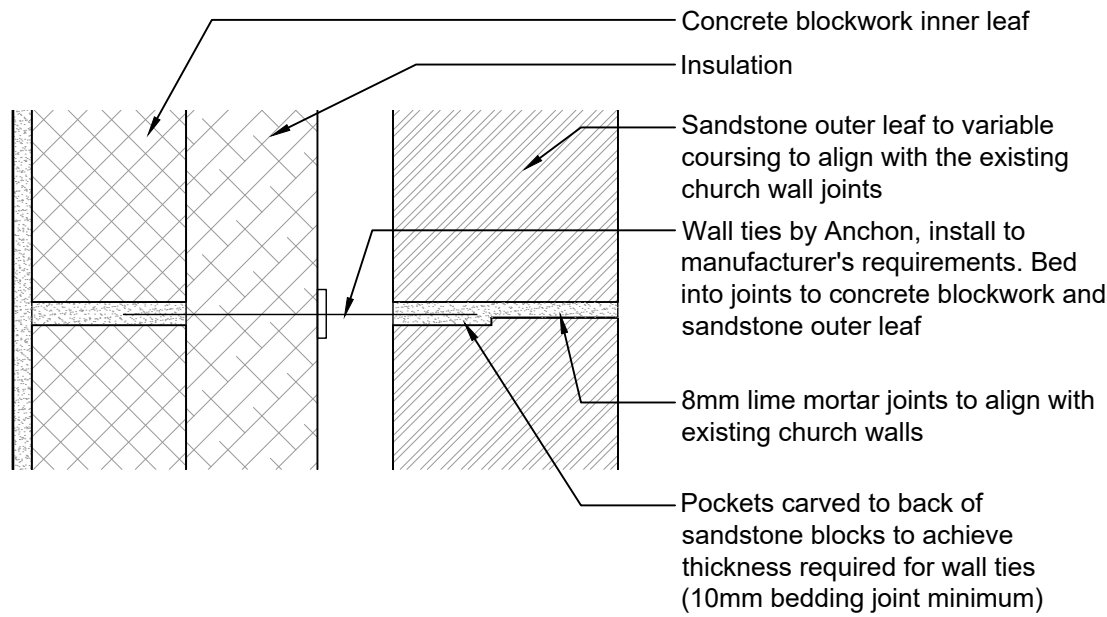
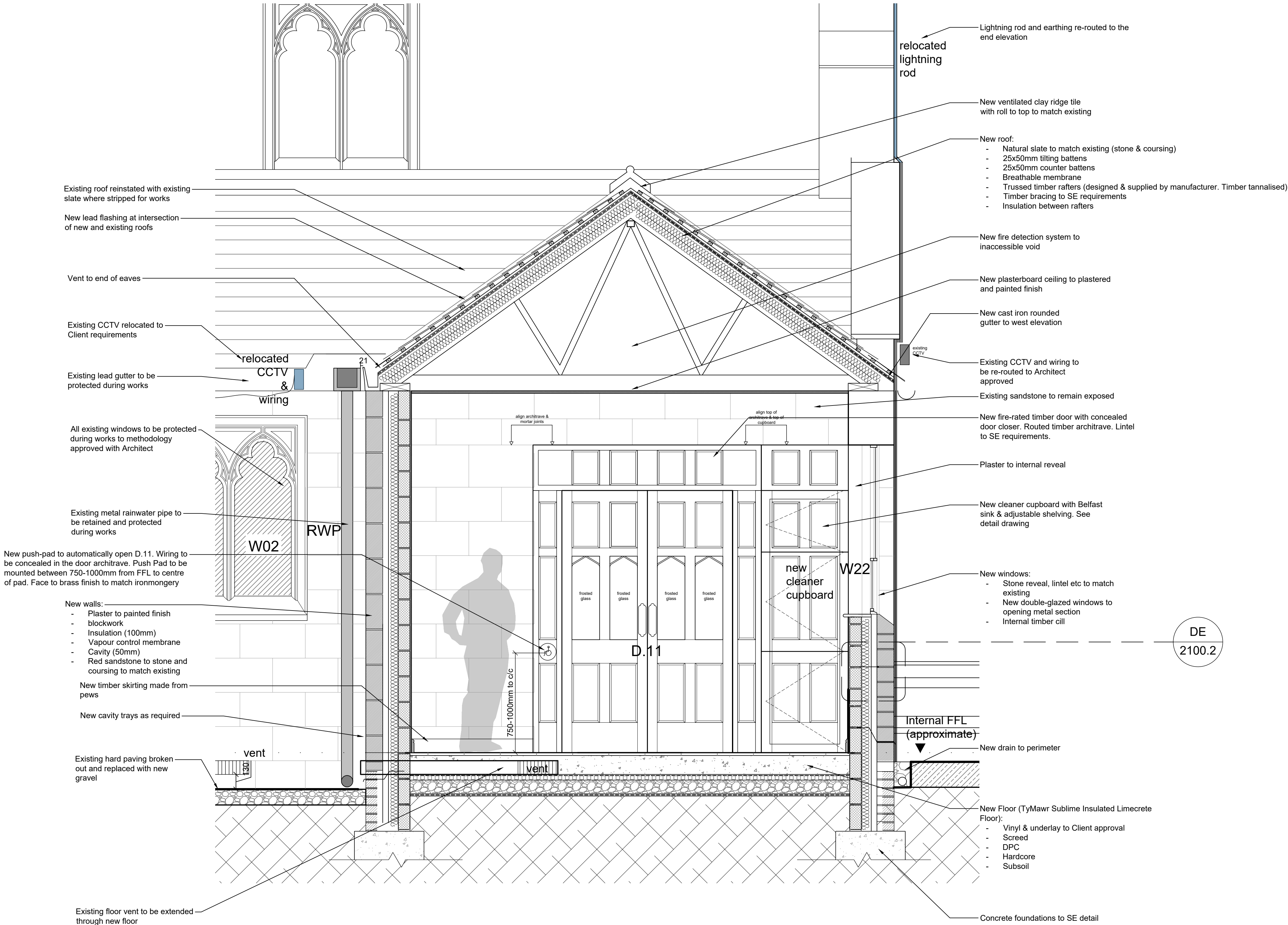
Red Sandstone for both walls and lintels.

WINDOWS

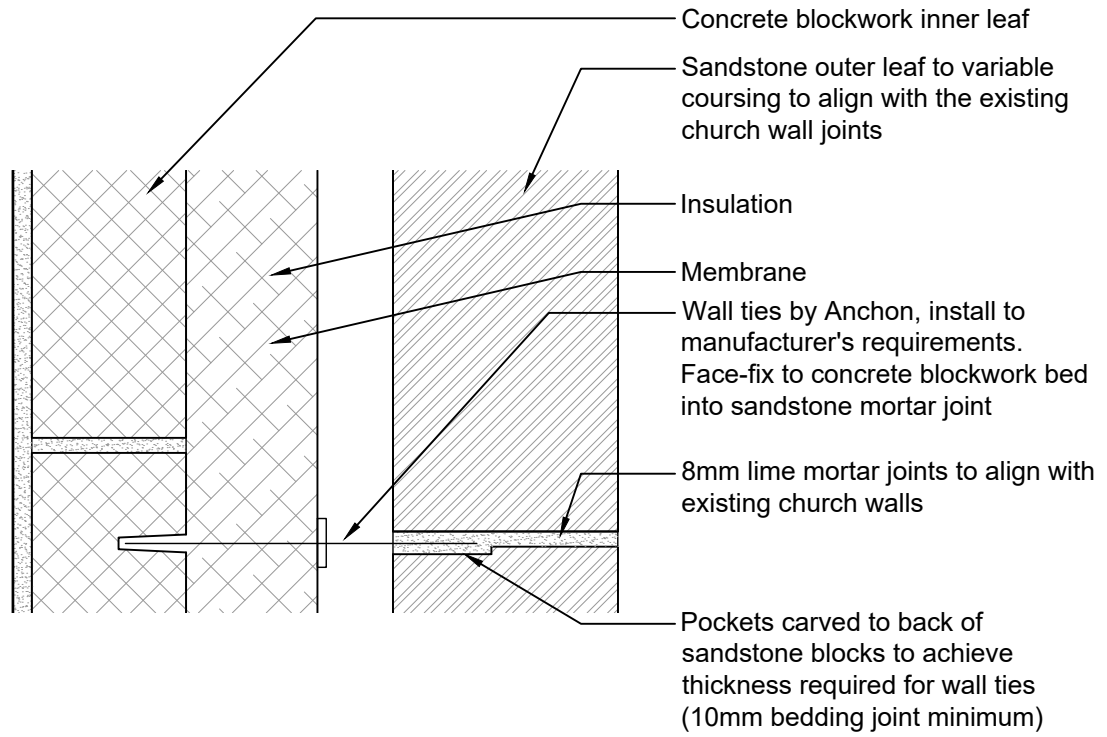
Dark grey metal frame windows with clear or frosted glass to suit.

DOORS

Stained timber with metal ironmongery.



DE
2100.2
Typical Wall Tie Detail 01 (coursing aligns)
1:5 @ A1



DE
2100.2
Typical Wall Tie Detail 01 (coursing misaligned)
1:5 @ A1

0 200 400 1000
Scale 1:20 mm

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Drawing Status
F Feasibility
S Sketch Design
P Planning
B Building Control
D Developed Design
M Measurement
T Tender
C Construction
R Record

Rev	Date	Dwn	Auth	Revision	Rev	Date	Dwn	Auth	Revision
0	13-11-23	SRS	TB	Initial Issue					

Donald Insall Associates
Chartered Architects and Historic Building Consultants

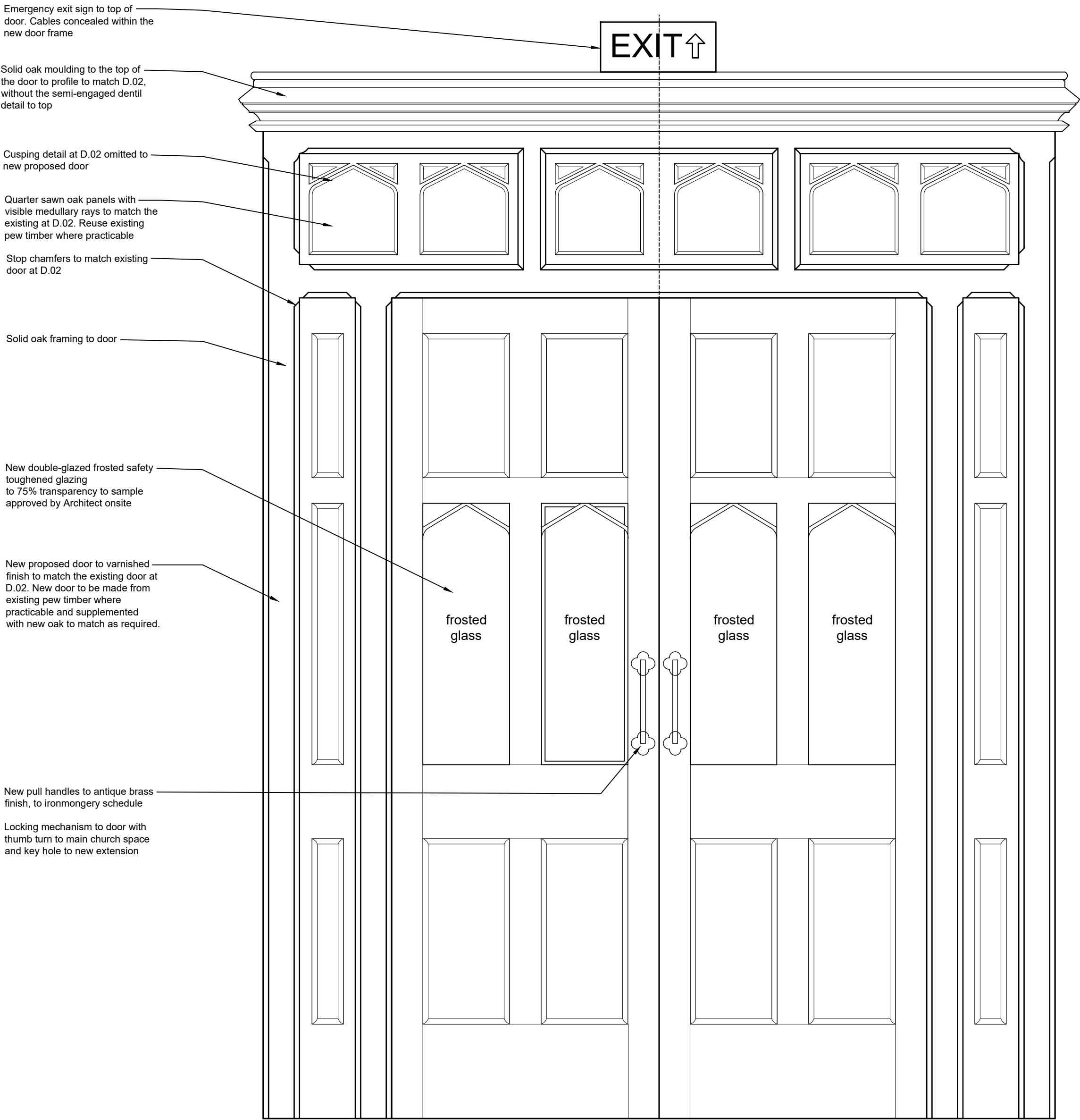
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St James' Church, Christleton

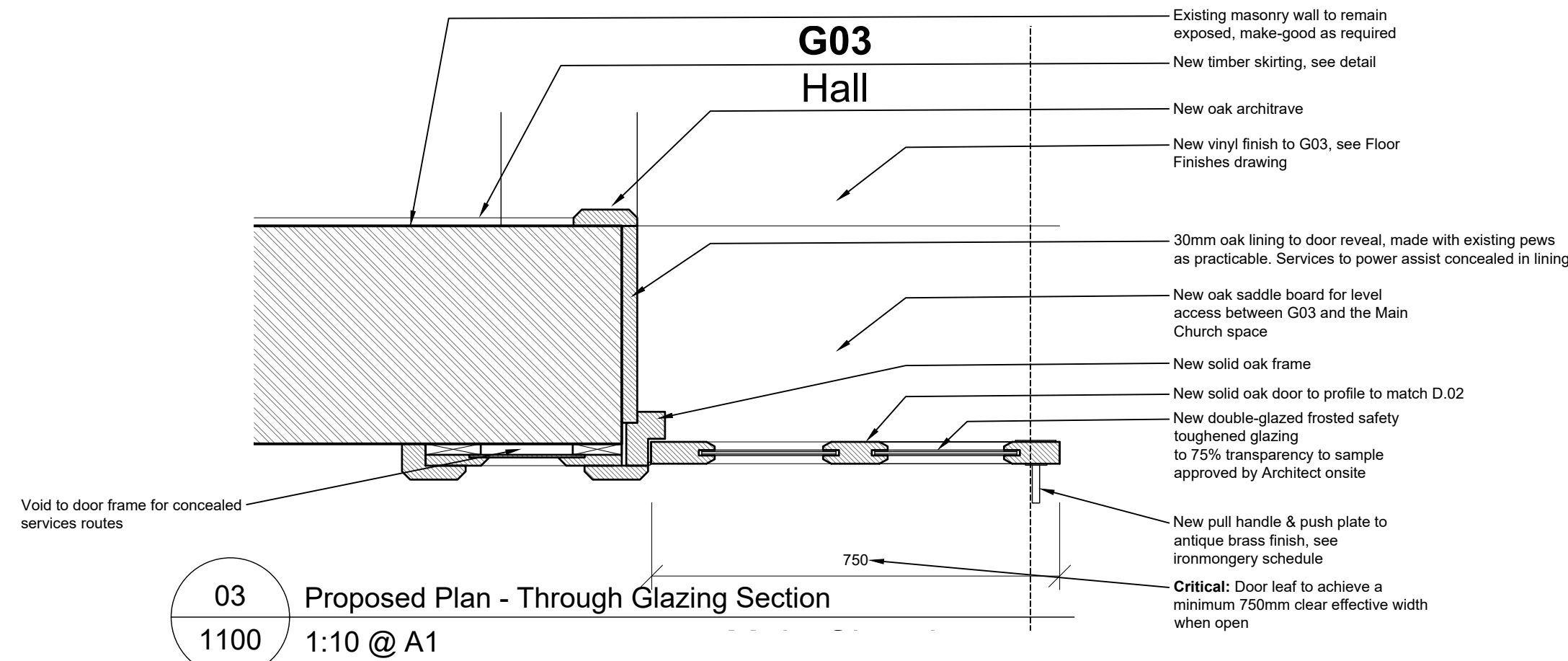
Section AA
As Proposed

Project	No	
CD.STJC.04	2100	
Scale (A1)	Status	Revision
1:20	4T	0

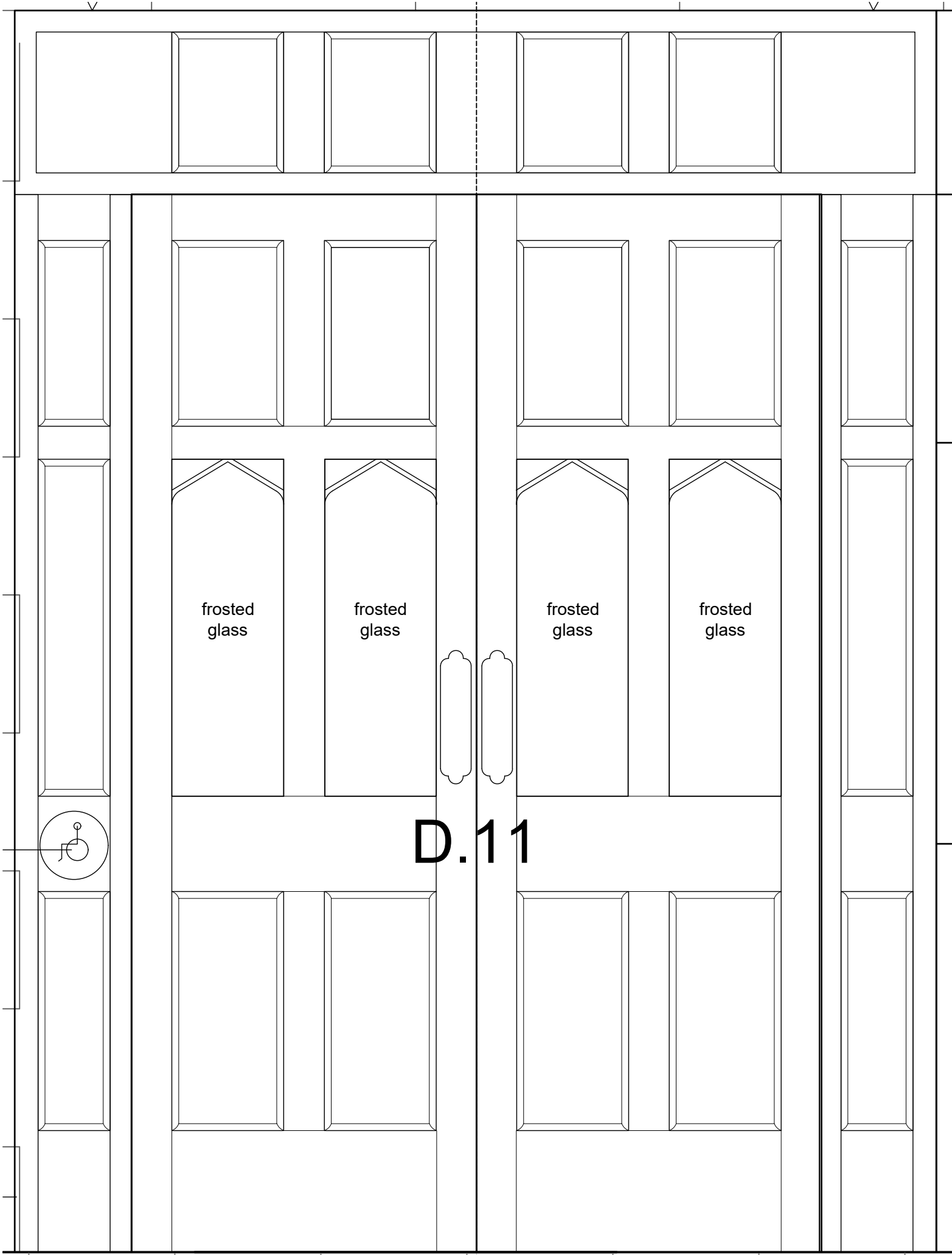
DOOR NUMBER: D.11



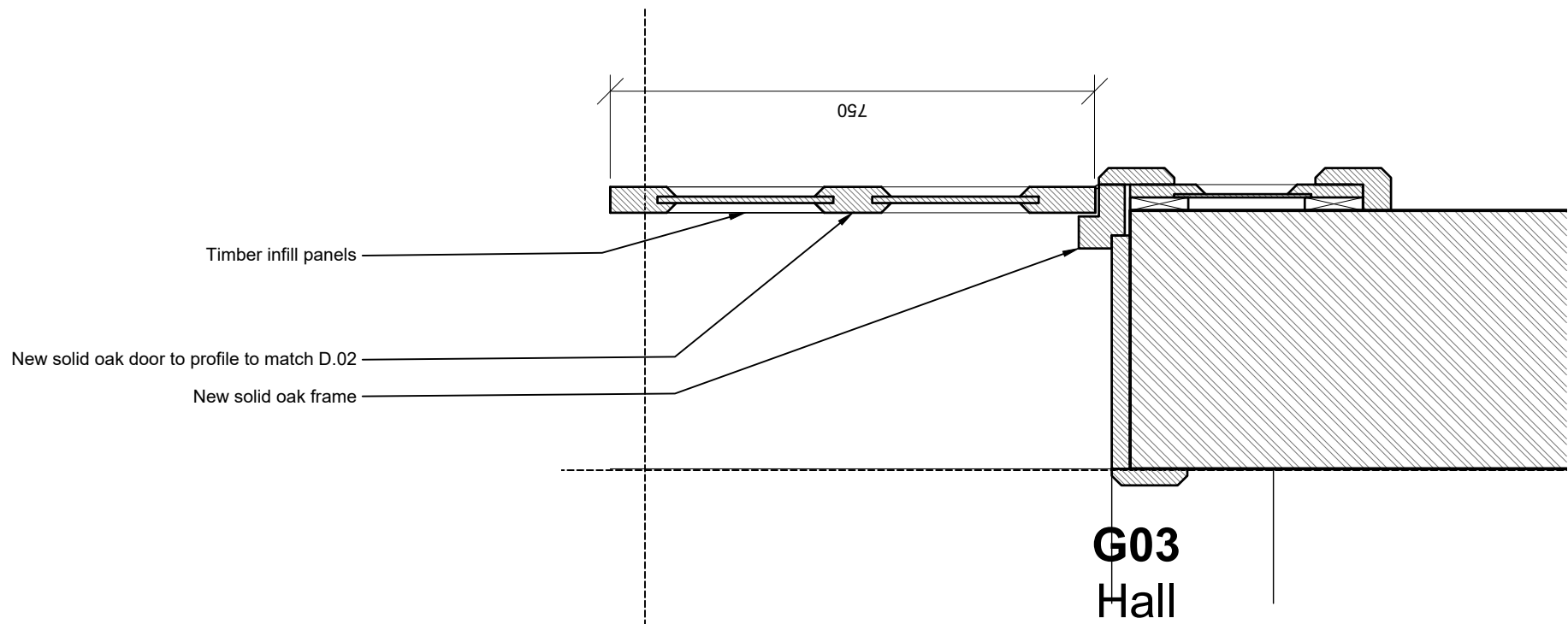
03
1100 Proposed Door - Face Opening into the Main Church Space
1:10 @ A1



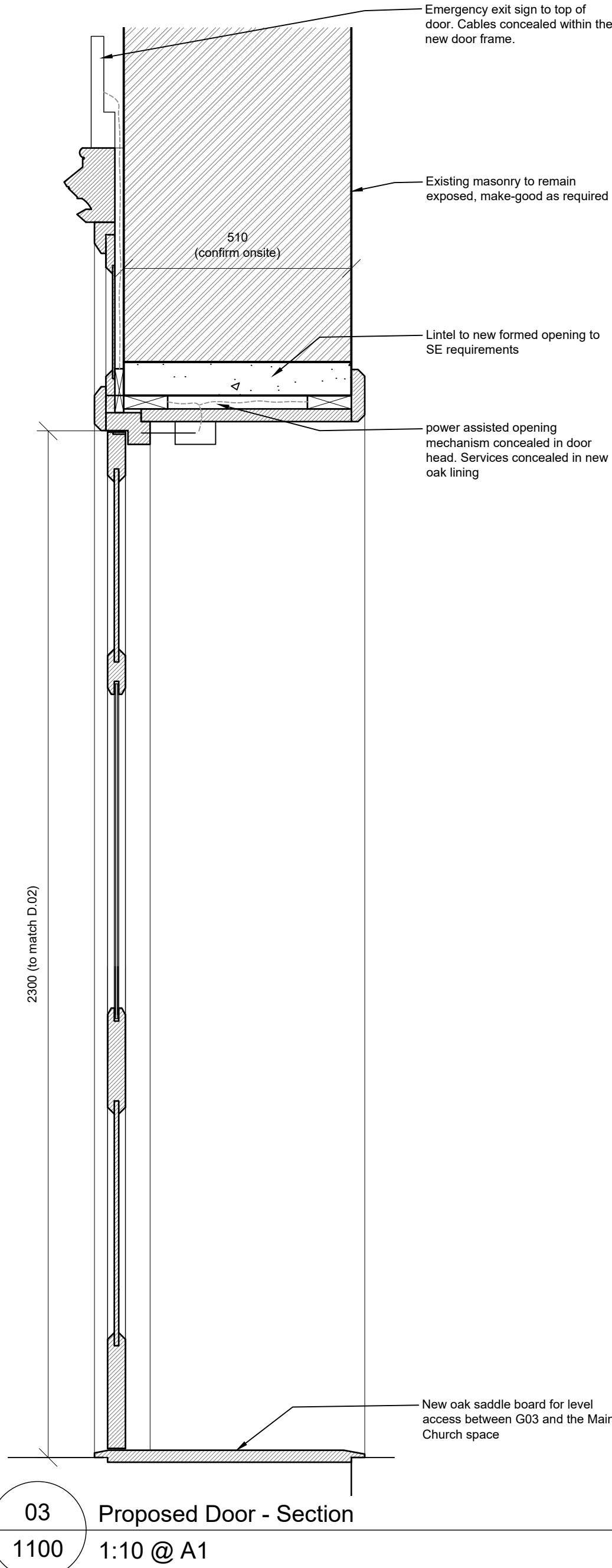
03
1100 Proposed Plan - Through Glazing Section
1:10 @ A1



03
1100 Proposed Door - Face Into Extension
1:10 @ A1



03
1100 Proposed Plan - Through Timber Panel
1:10 @ A1



03
1100 Proposed Door - Section
1:10 @ A1

NOTES

All fabrication drawings to be approved by the Architect prior to manufacture.

Existing pew timber to be reused where practicable, sanded and finished to match the adjacent.

Door Number: D.11

Opening type: New to existing masonry wall

Structural Opening: new

Clear Opening:

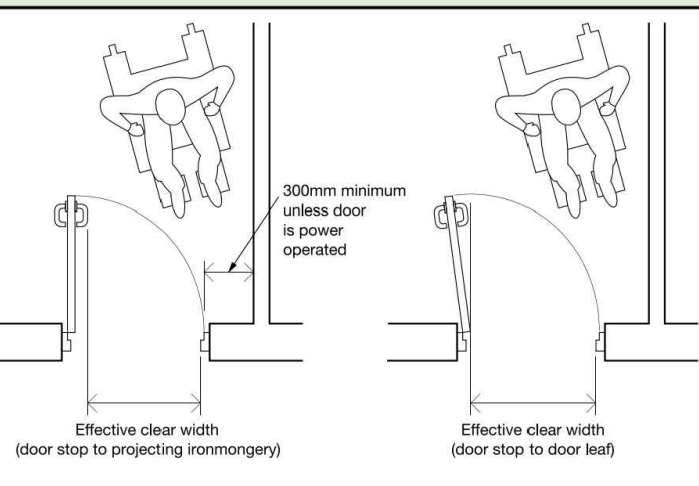
Fire-rating: N/A

Sound proofing: 40DB

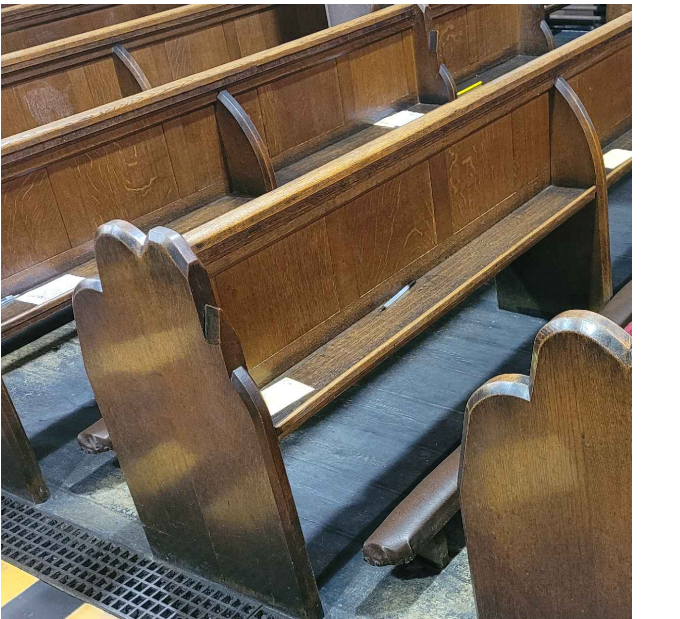
Ironmongery set: antique brass

Reveals: Oak lining to match door

Diagram 9 Effective clear width of doors

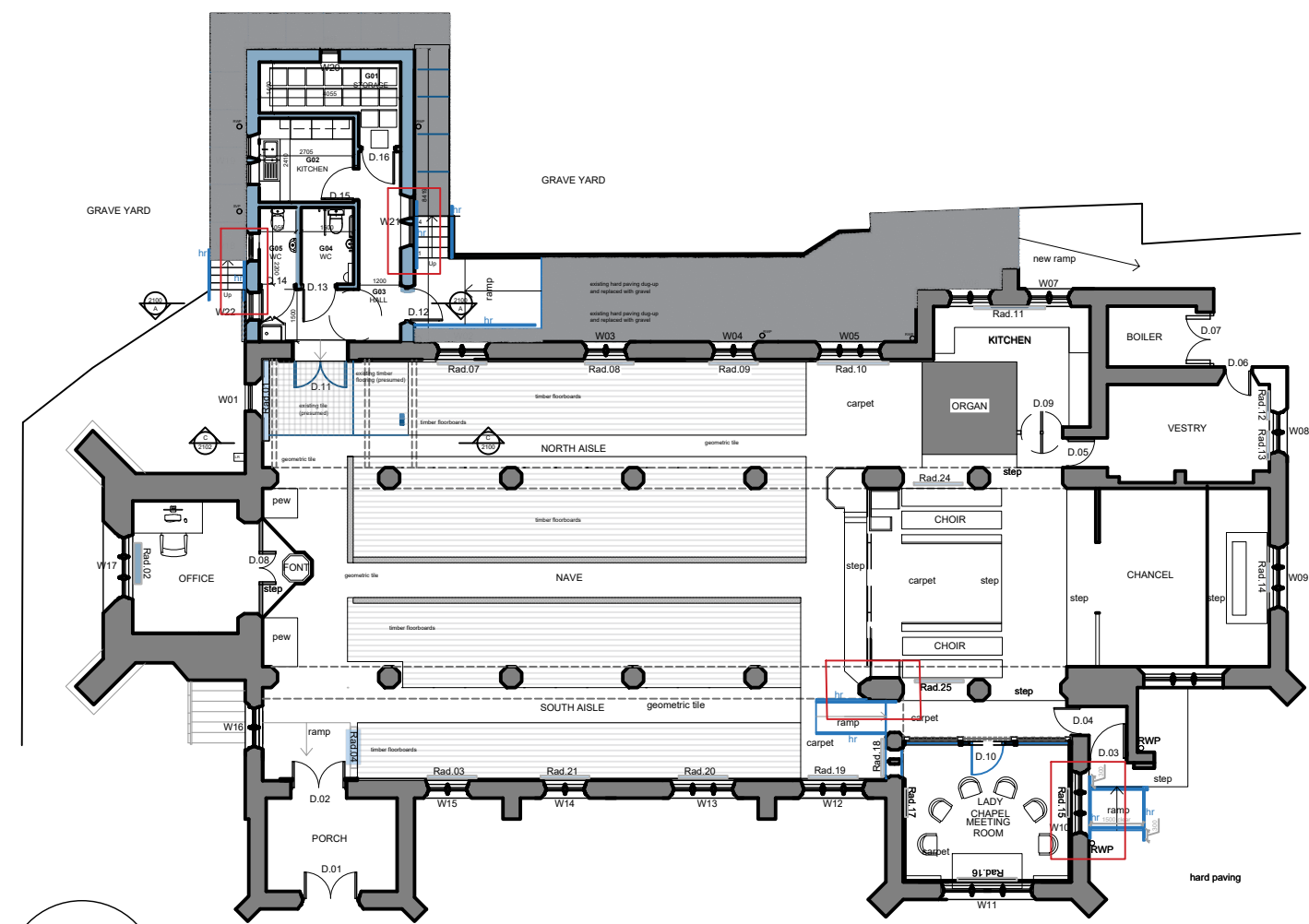


REFERENCE IMAGE OF THE EXISTING DOOR AT D.02



REFERENCE IMAGE OF EXISTING PEW MATERIALITY

Notes	1. Any dwg format drawing is to be read in conjunction with and at the scale of the accompanying pdf.										Drawing Status																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																			</
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01 Ground Floor - AsProposed
3203 1:200 @ A1



Precedent image of wall fixing

Ashlar sandstone wall
Note: fix into wall joints where practicable

New galvanised & painted metal handrail to convex square edge flat 40mmx12mmx6mm. Colour to be confirmed. To be approved by Architect by shop drawing.

Wall-mounted handrail:
Round bar welded to handrail & resin fixed into wall.
Quantity of fixing points to meet SE requirements

Handrail turned into wall at end

01 Section
3910 1:5 @ A1

Wall-mounted handrail:
Round bar welded to handrail & resin fixed into wall.
Quantity of fixing points to meet SE requirements

New galvanised & painted metal handrail to convex square edge flat 40mmx12mmx6mm. Colour to be confirmed. To be approved by Architect by shop drawing.

Handrail turned into wall at end

Note: fix into wall joints where practicable

Ashlar sandstone wall

300mm from edge of stair/ ramp to end of handrail

900-1100mm from top of FFL to top of handrail

03 Elevation
3910 1:5 @ A1

Ashlar sandstone wall
Note: fix into wall joints where practicable

Handrail turned into wall at end

300mm from edge of stair/ ramp to end of handrail

02 Plan
3910 1:5 @ A1

900-1000mm from top of stair/ ramp pitch line to top of handrail

Pitch line of stair/ ramp

Wall-mounted handrail:
Round bar welded to handrail & resin fixed into wall.
Quantity of fixing points to meet SE requirements

New galvanised & painted metal handrail to convex square edge flat 40mmx12mmx6mm. Colour to be confirmed. To be approved by Architect by shop drawing.

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Drawing Status
F Feasibility
S Sketch Design
P Planning
B Building Control
D Developed Design
M Measurement
T Tender
C Construction
R Record

Rev	Date	Dwn	Auth	Revision

0	13-11-23	SRS	TB	Refer to drawing
Rev	Date	Dwn	Auth	Revision

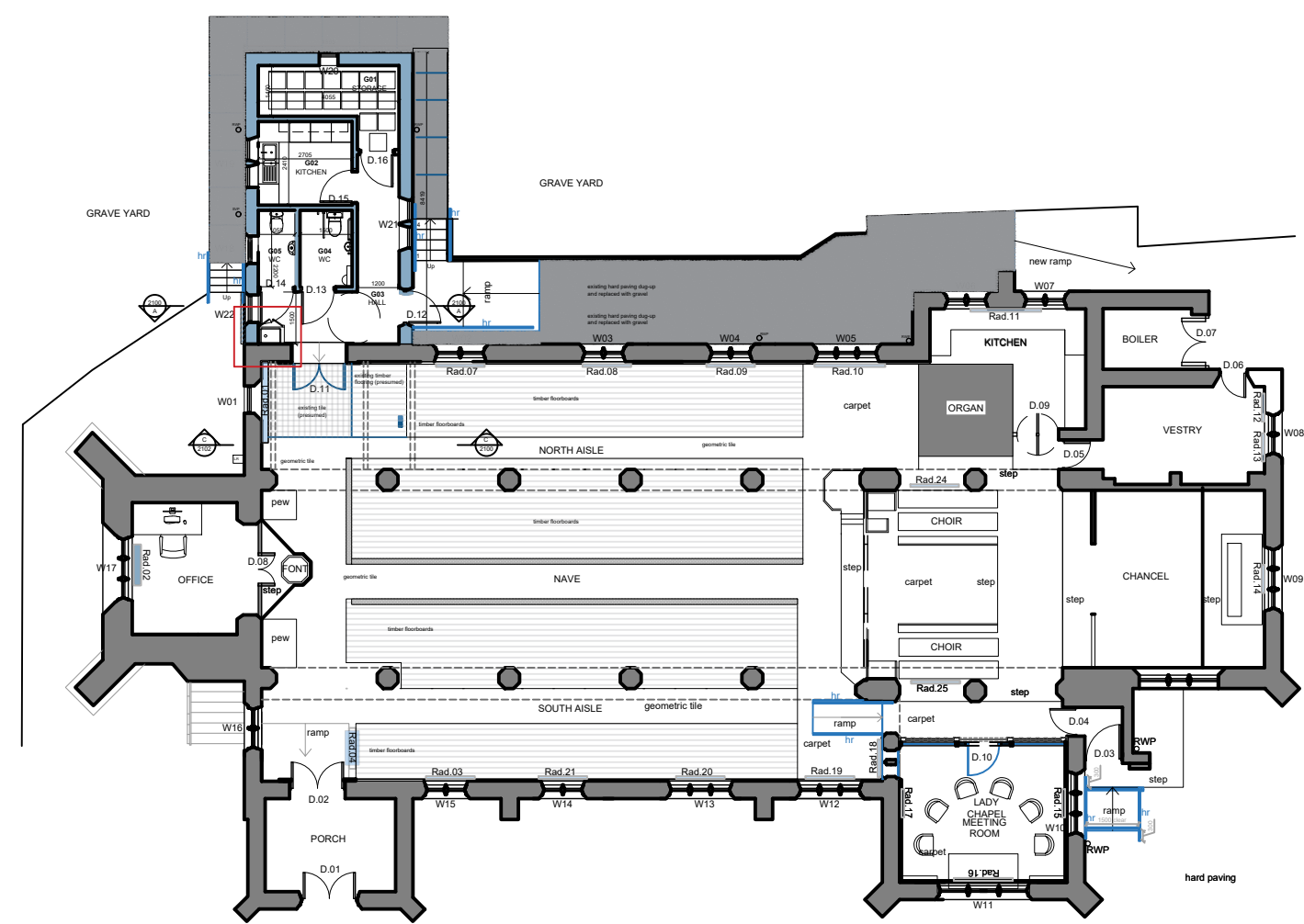
Donald Insall Associates
Chartered Architects and Historic Building Consultants

Bridgegate House, 5 Bridge Place
Chester CH1 1SA
(+44) 01244 350 063
chester@insall-architects.co.uk

St James' Church, Christleton

External Wall-MountedHandrail Detail
As Proposed

Project	No	
CD.STJC.04	3910	
Scale (A1)	Status	Revision
1:var	4T	0

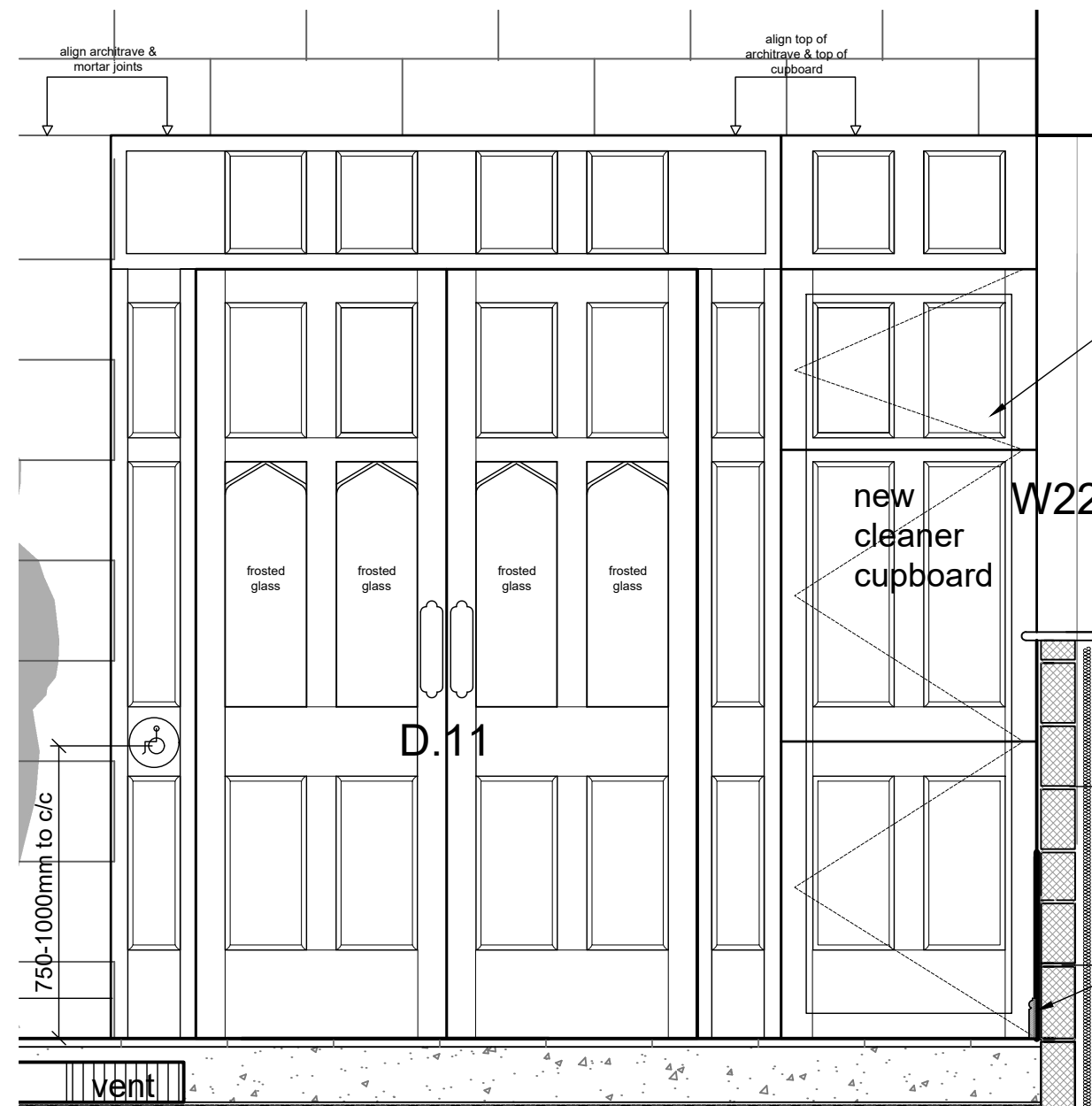


01 Ground Floor - As Proposed
3200 1:200 @ A1



Reference images

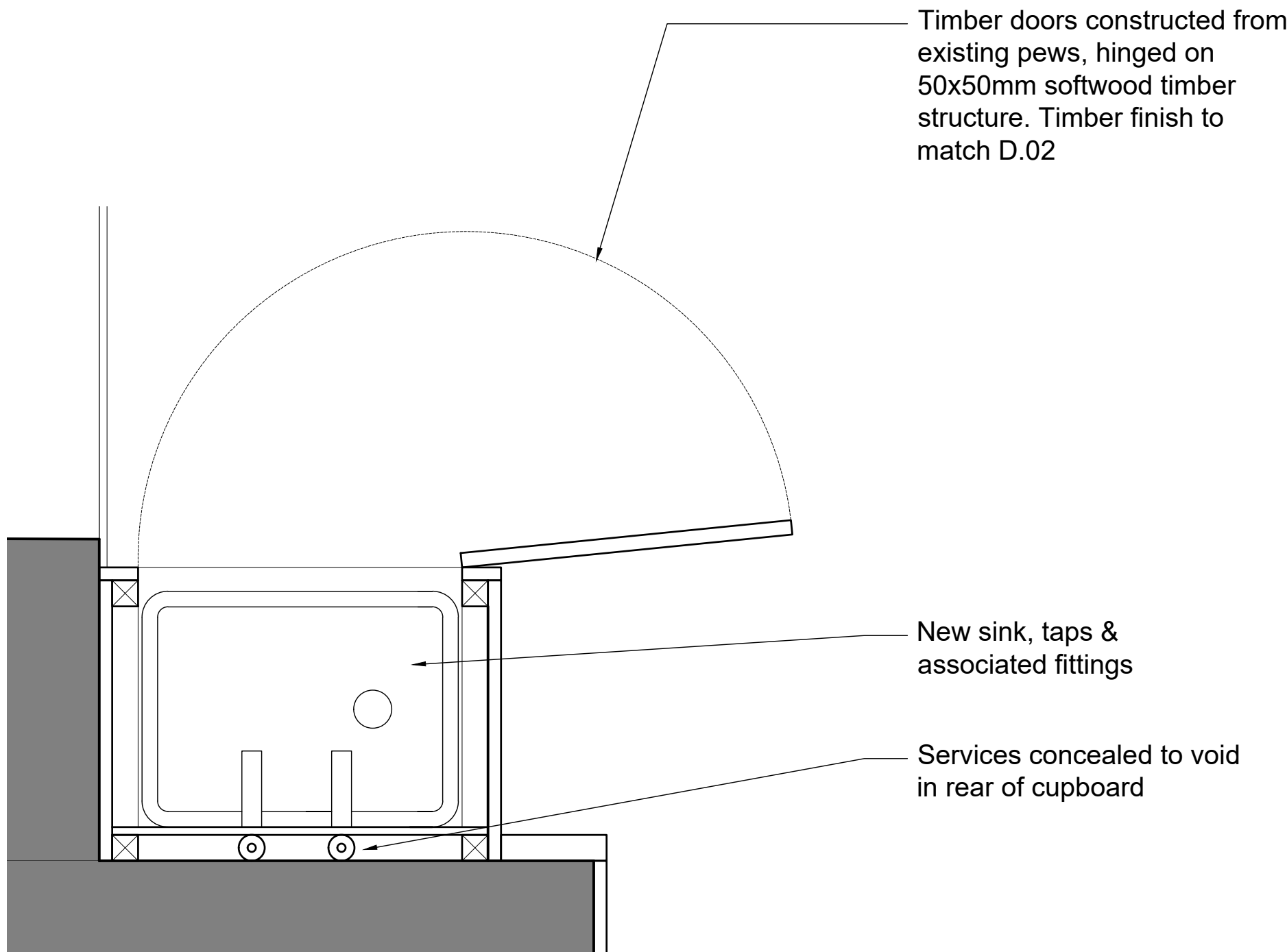
New cleaner sink to cupboard:
Install to manufacturer's requirements
S5803 Belfast sink 60 x 46 x 26cm (boxed)
S9219 Brackets build-in Aluminium alloy, 405mm overall, 355mm stud (pair)
S8725 Waste 1½" slotted strainer waste, 80mm tail
S9250 Leg 650mm stainless steel with screw to wall
Aluminium alloy bearer, 405mm overall, 355mm stud (pair).
S5835 Belfast drainer plain 61 x 46cm reversible, for sinks at least 455mm wide
S8769 Waste 1½" slotted waste, chain and plug, screw stay, 90mm tail
Trap
ALTERNA 21 | B1457AA
Lever action bib taps



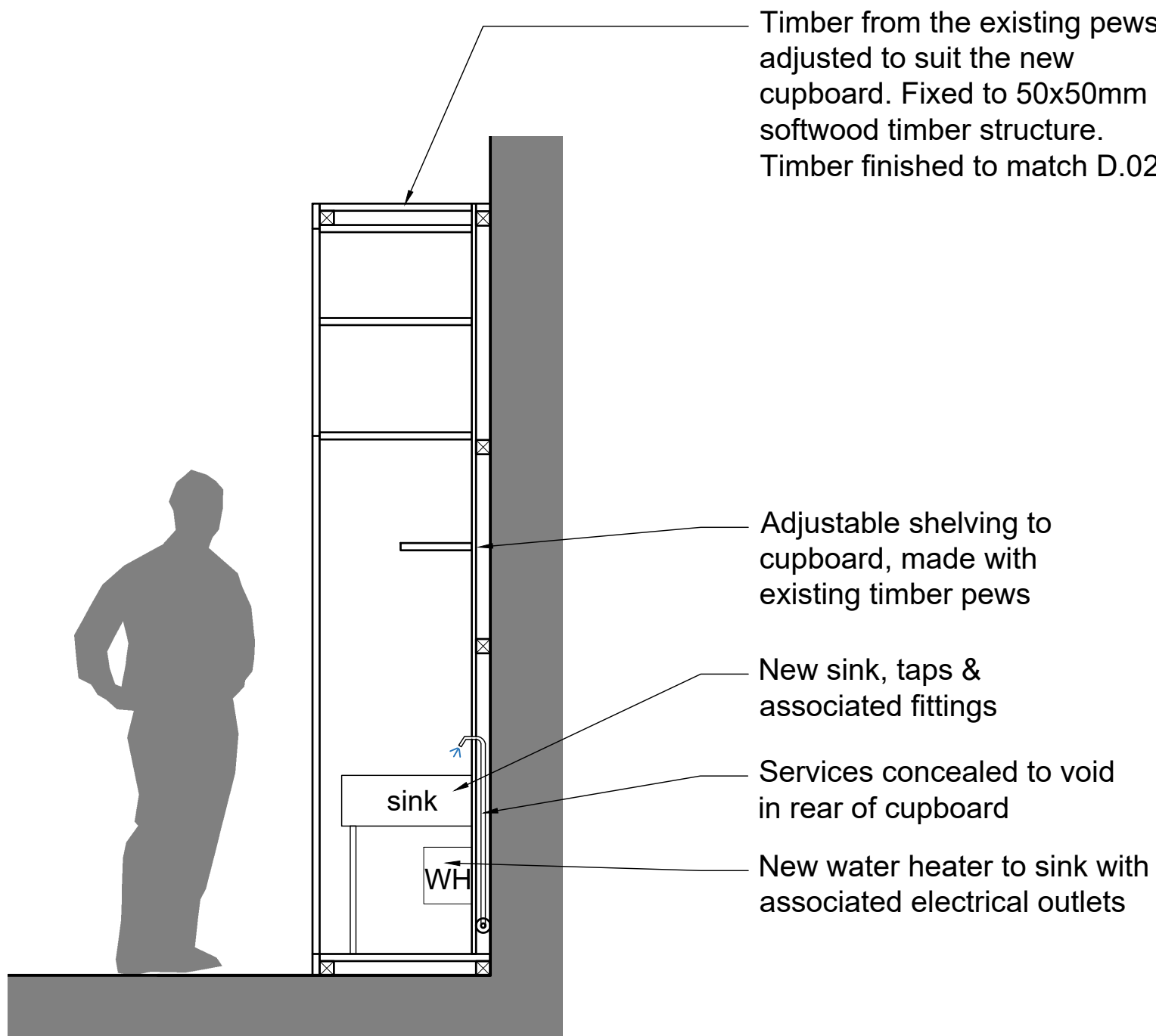
04 Cupboard Elevation- As Proposed
3911 1:20 @ A1

Timber doors constructed from existing pews, hinged on 50x50mm softwood timber structure. Timber finish to match D.02

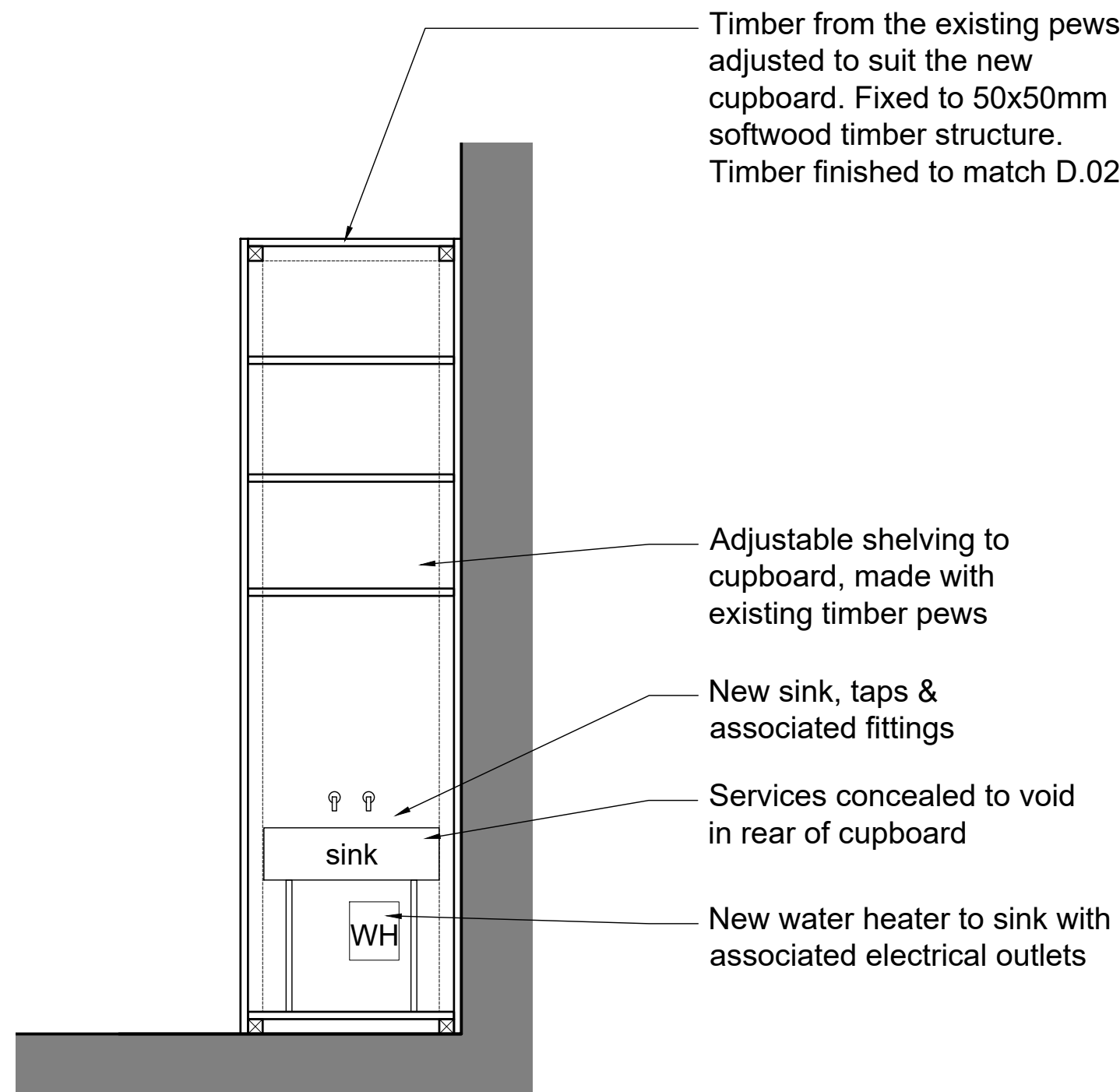
Refer to drawing for new skirting detail



03 Cupboard Plan- As Proposed
3200 1:10 @ A1

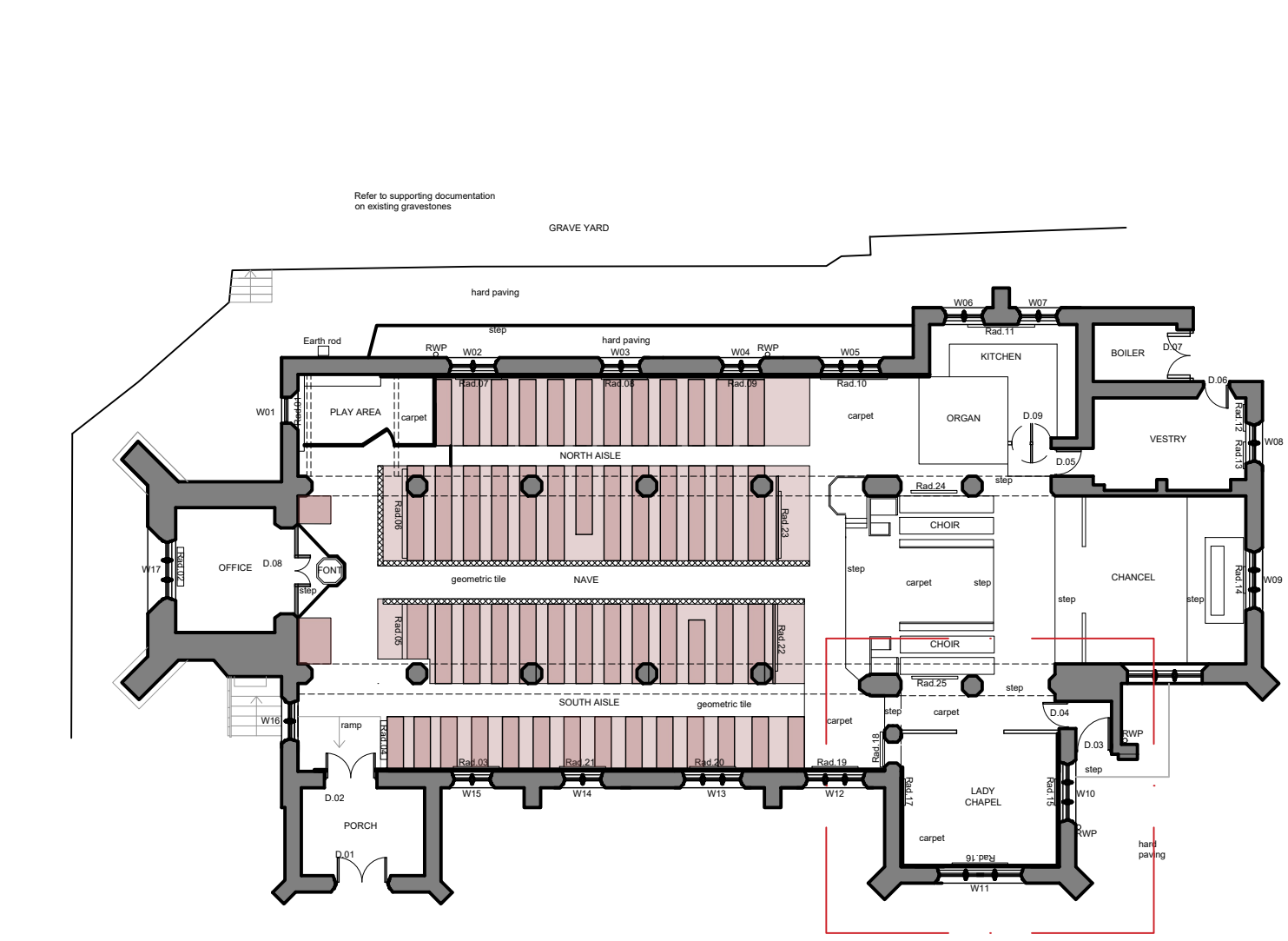


03 Cupboard Elevation- As Proposed
3200 1:20 @ A1

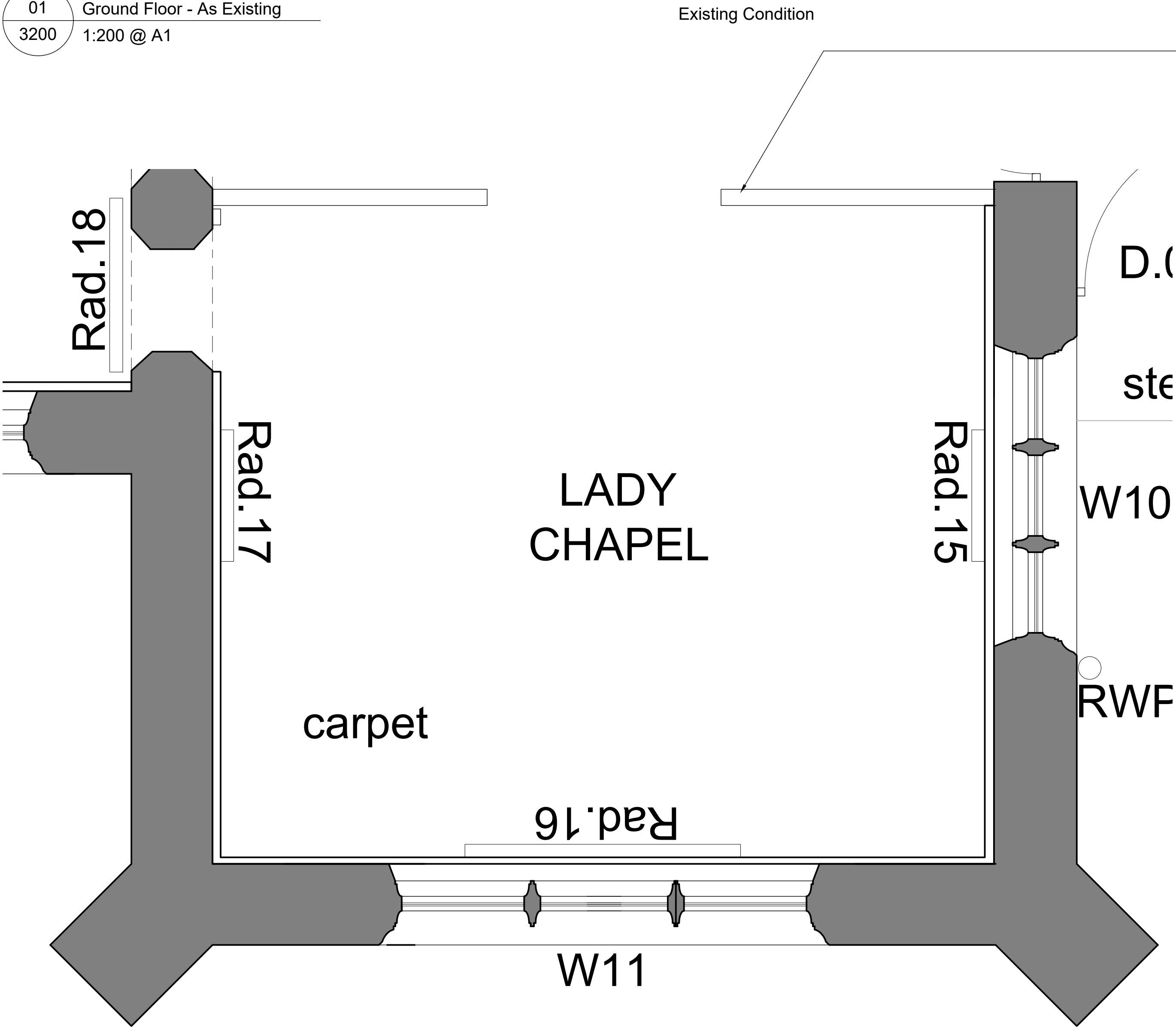


03 Cupboard Section- As Proposed
3200 1:20 @ A1

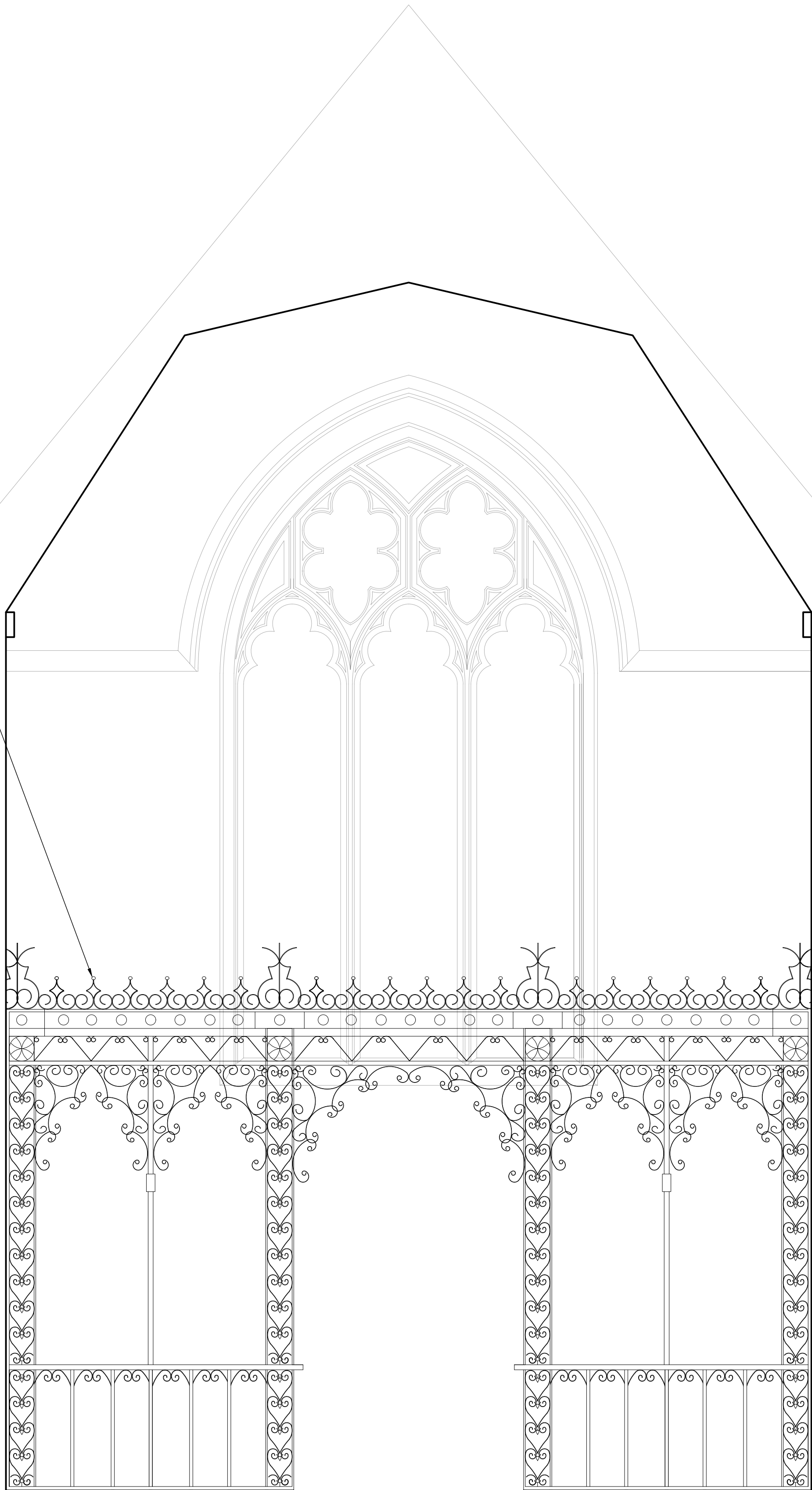
<div>Notes</div> <div><div><div>1.</div><div>Any dwg format drawing is to be read in conjunction with and at the scale of the accompanying pdf.</div></div><div><div>2.</div><div>Where colours other than black or grey are used, the drawing must be plotted in colour.</div></div><div><div>3.</div><div>For status 'C' (Construction) drawings all dimensions are to be checked on site by the contractor, scaling is for Local Authority purposes only.</div></div><div><div>4.</div><div>Unless otherwise indicated, all dimensions are in millimeters.</div></div><div><div>5.</div><div>All information on this drawing is to be read in conjunction with the relevant Donald Insall Associates specification and trade contractors' drawings and information by specialists.</div></div><div><div>6.</div><div>In the event of any discrepancy, please contact us immediately.</div></div><div><div>7.</div><div>This drawing may contain survey information by others and is to be used solely for the purposes for which it was issued.</div></div><div><div>8.</div><div>These are uncontrolled documents issued for information purposes only. If you have any queries regarding the drawings, please contact DIA immediately.</div></div><div><div>9.</div><div>Please note DIA cannot be held responsible for any errors arising from changes made to an uncontrolled dwg file.</div></div></div> <div><div>© 2019 DONALD INSALL ASSOCIATES LTD</div></div>	<div>Drawing Status</div> <div><div>F</div><div>Feasibility</div></div> <div><div>S</div><div>Sketch Design</div></div> <div><div>P</div><div>Planning</div></div> <div><div>B</div><div>Building Control</div></div> <div><div>D</div><div>Developed Design</div></div> <div><div>M</div><div>Measurement</div></div> <div><div>T</div><div>Tender</div></div> <div><div>C</div><div>Construction</div></div> <div><div>R</div><div>Record</div></div>
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Existing Condition



1945 Metal Decorative screen to be documented, labeled, carefully removed, stored on site to be reinstated in the current location following the new glazed screen installation.



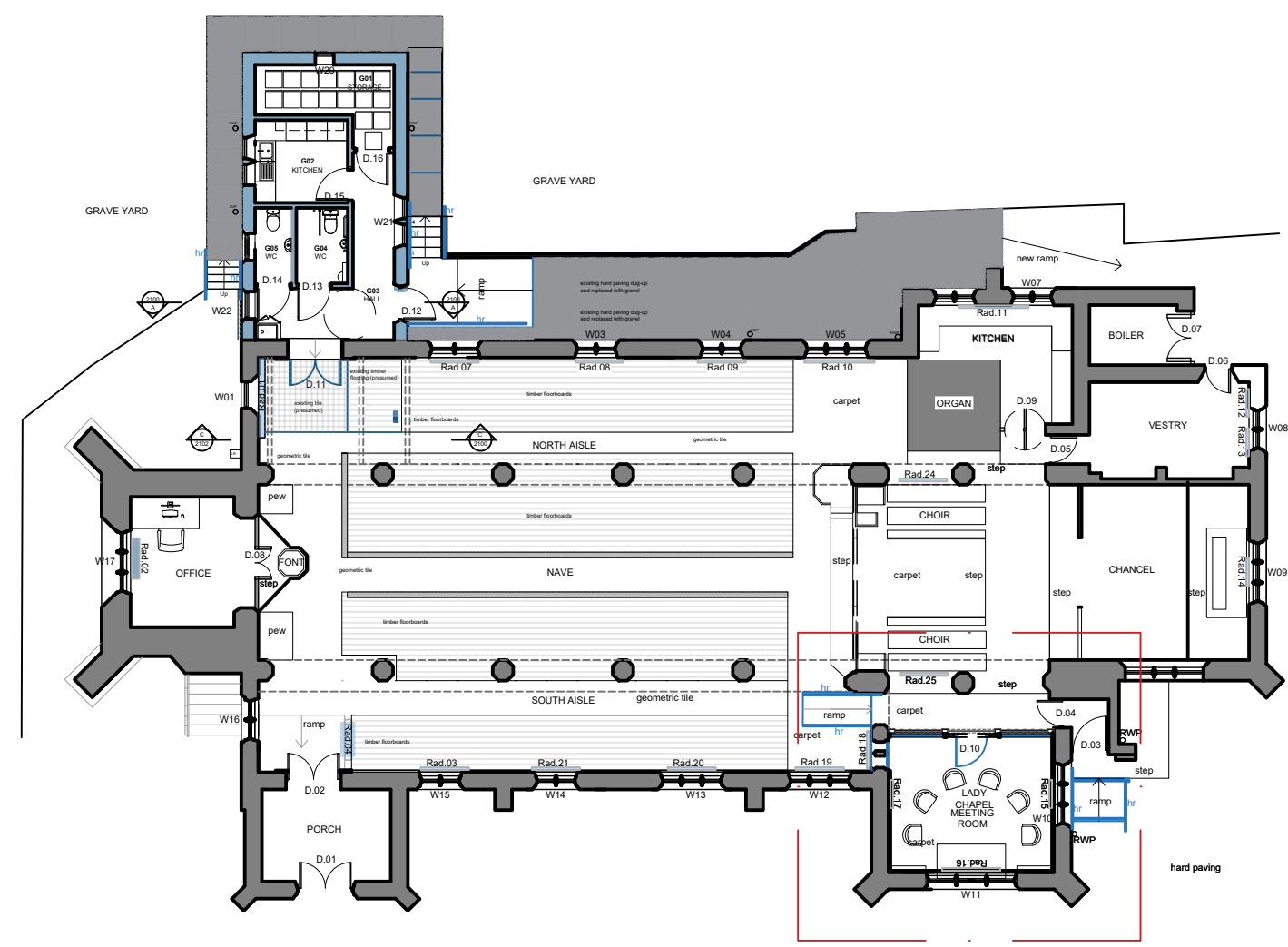
02 Ground Floor - As Existing
3200 1:20 @ A1

03 Screen Elevation - As Existing
3200 1:20 @ A1

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D	Developed Design				
M	Measurement				
T	Tender				
C	Construction				
R	Record				
Rev	Date	Dwn	Auth	Revision	
0	25-10-23	LXW	TB	Refer to drawing	
Rev	Date	Dwn	Auth	Revision	

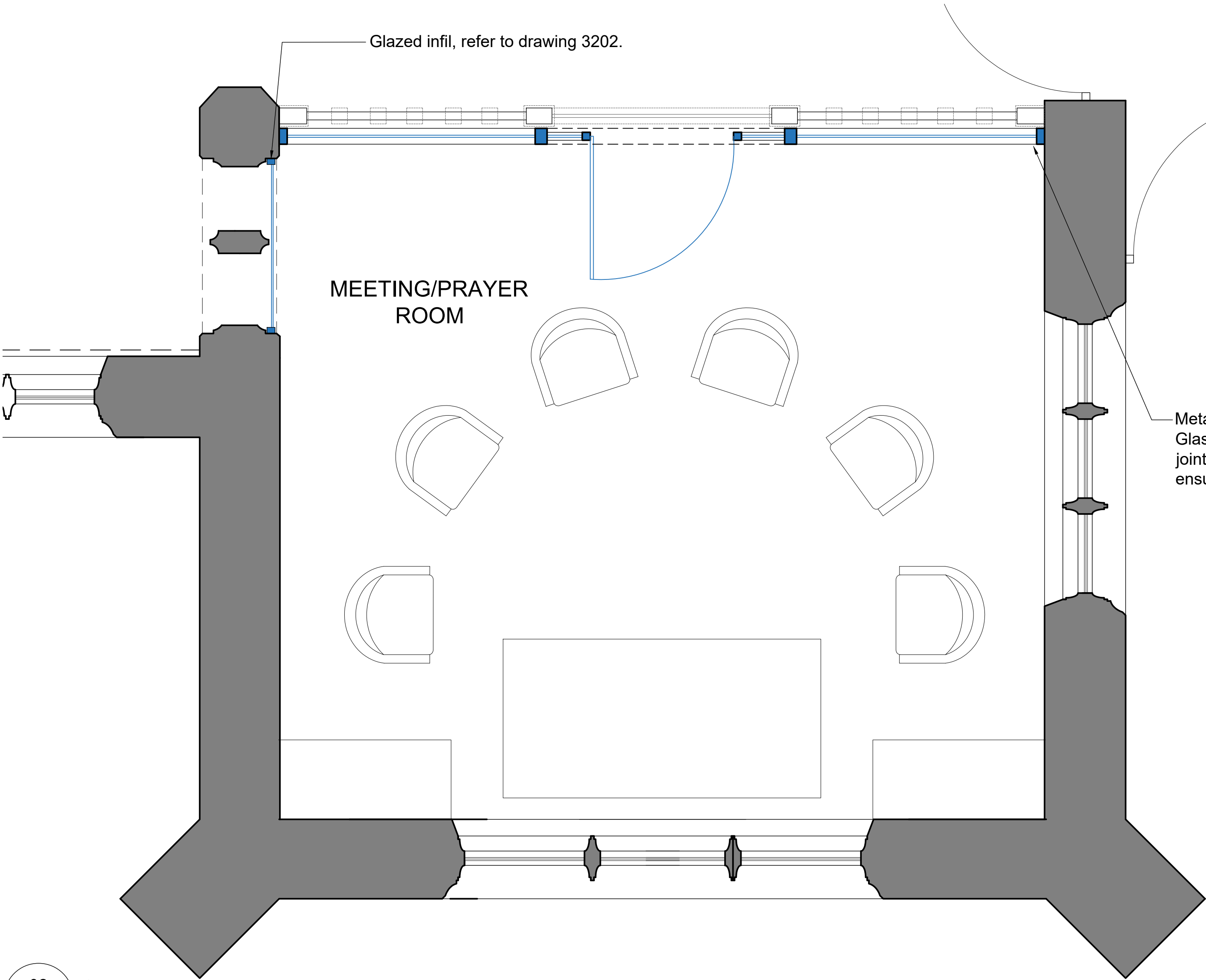
Donald Insall Associates Chartered Architects and Historic Building Consultants				Bridgegate House, 5 Bridge Place Chester CH1 1SA (+44) 01244 350 063 chester@insall-architects.co.uk			
St James' Church, Christleton							
Meeting/Prayer Room As Existing		Project	CD.STJC.04	No	3200	Status	4T
		Scale (A1)	1:var	Revision	0		



01 Ground Floor - As Proposed
3201 1:200 @ A1



Precedents



02 Ground Floor - As Proposed
3201 1:20 @ A1

Metal frame & structural glass by Ion Glass, fixed to existing timber trusses. Tight fit to ensure soundproofing

Hatch Key:

Coloured areas of hatch on interior Plans and Elevations indicate proposed fixtures, fittings or built fabric, proposed to be inserted, as below:

- (Light Blue) - Proposed to be added, viewed in elevation.
- (Dark Blue) - Proposed to be added, viewed in Section.

Dimensions have been taken from drawings received, and a site measure will be required by the glazing manufacturer prior to order and fabrication. All contractor shop drawings to be approved by Architect prior to commencing manufacture.

contractor to confirm onsite

Metal frame & structural glass by Ion Glass, mechanically fixed into the mortar joints of existing stone wall. Tight fit to ensure soundproofing.

Contractor to confirm all dimensions onsite. Fabrication drawings to be approved by Architect prior to manufacture

Decorative bespoke metal handle to match existing metal screen, to be approved by Architect by sample

03 Screen Elevation - As Proposed
3201 1:20 @ A1

WORK IN PROGRESS

Donald Insall Associates
Chartered Architects and Historic Building Consultants

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Chester CH1 1SA
(+44) 01244 350 063
chester@insall-architects.co.uk

St James' Church, Christleton

Meeting/Prayer Room
As Proposed

Project
CD.STJC.04

No
3201

Scale (A1)
1:var

Status
4T

Revision
1

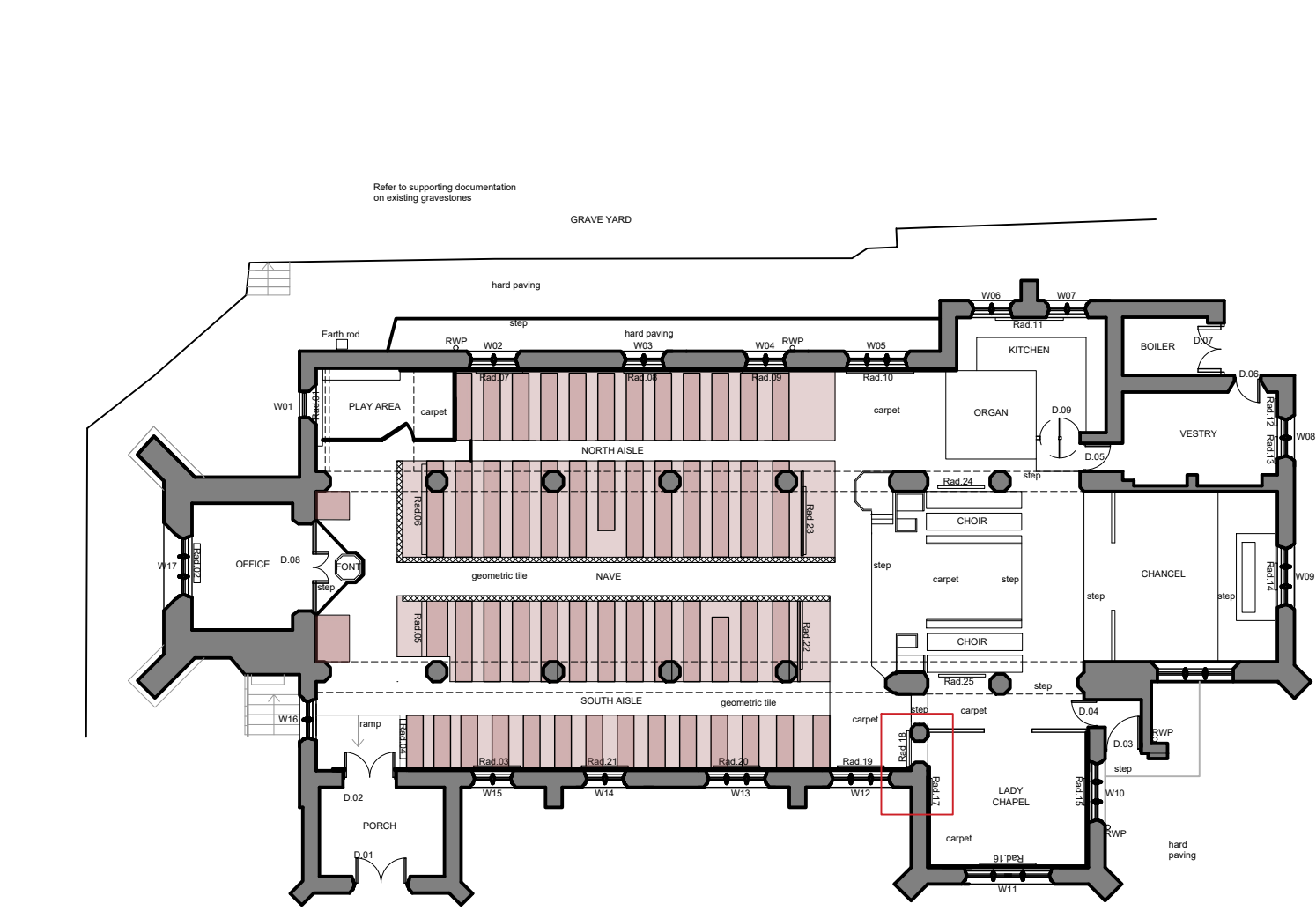
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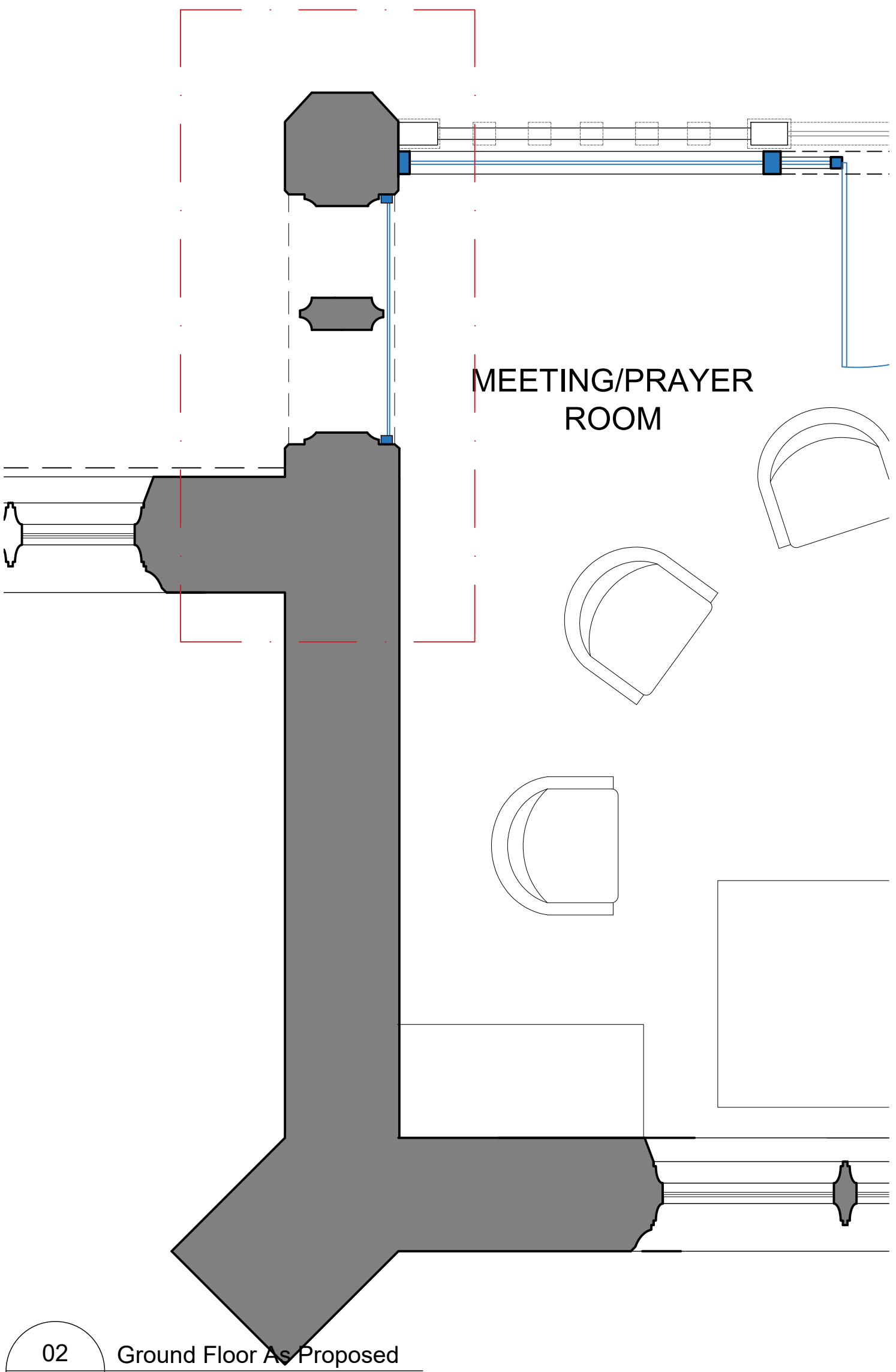
Drawing Status
F Feasibility
S Sketch Design
P Planning
B Building Control
D Developed Design
M Measurement
T Tender
C Construction
R Record

Rev	Date	Dwn	Auth	Revision
2	25-10-23	CJW	TB	Refer to drawing
1	25-09-23	CJW	TB	Adjustment to frames
0	12-12-22	LXW	TB	Initial Issue - to manufacturer, ion (backdated)

Rev Date Dwn Auth Revision



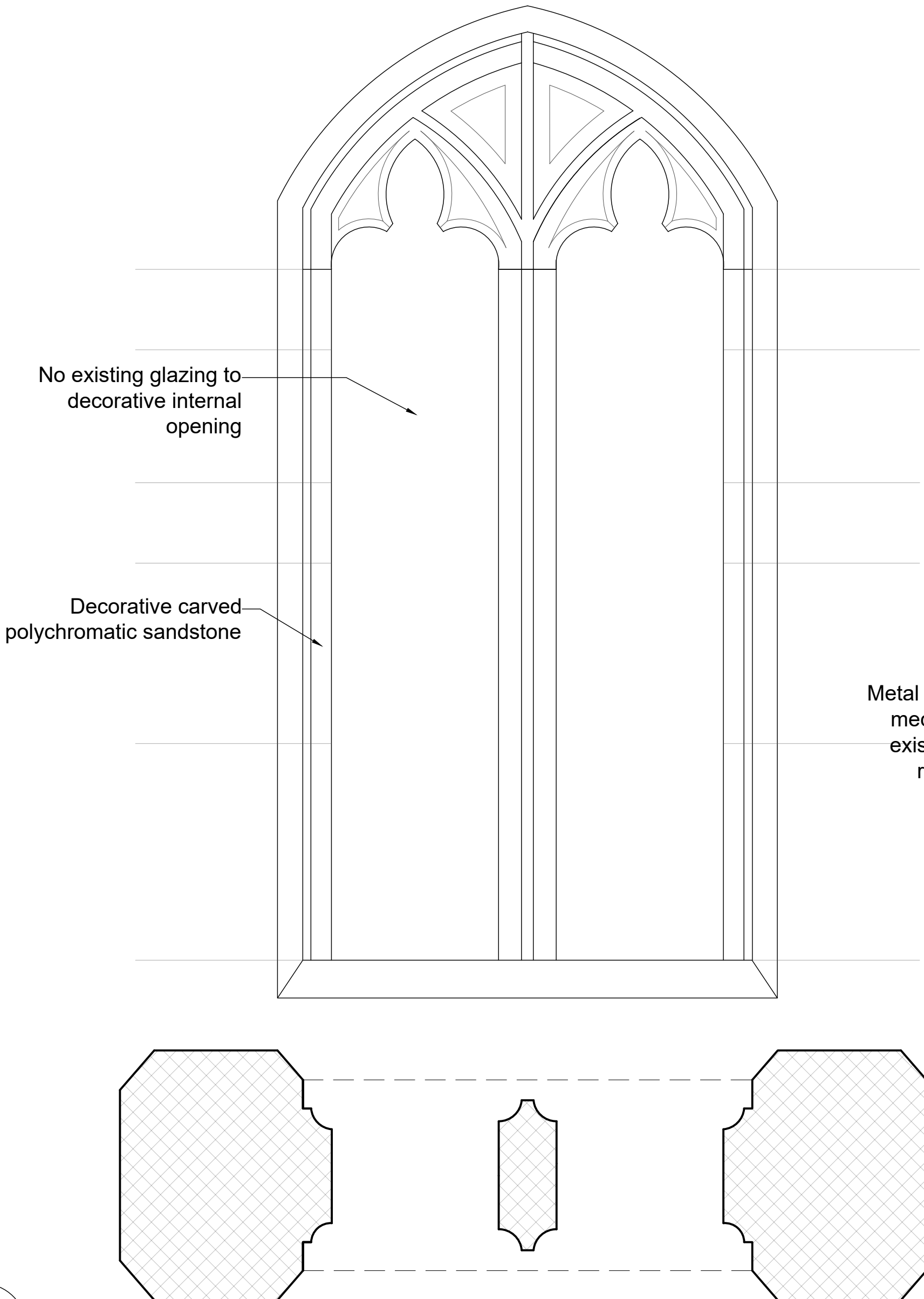
01 Ground Floor - As Existing
3202 1:200 @ A1



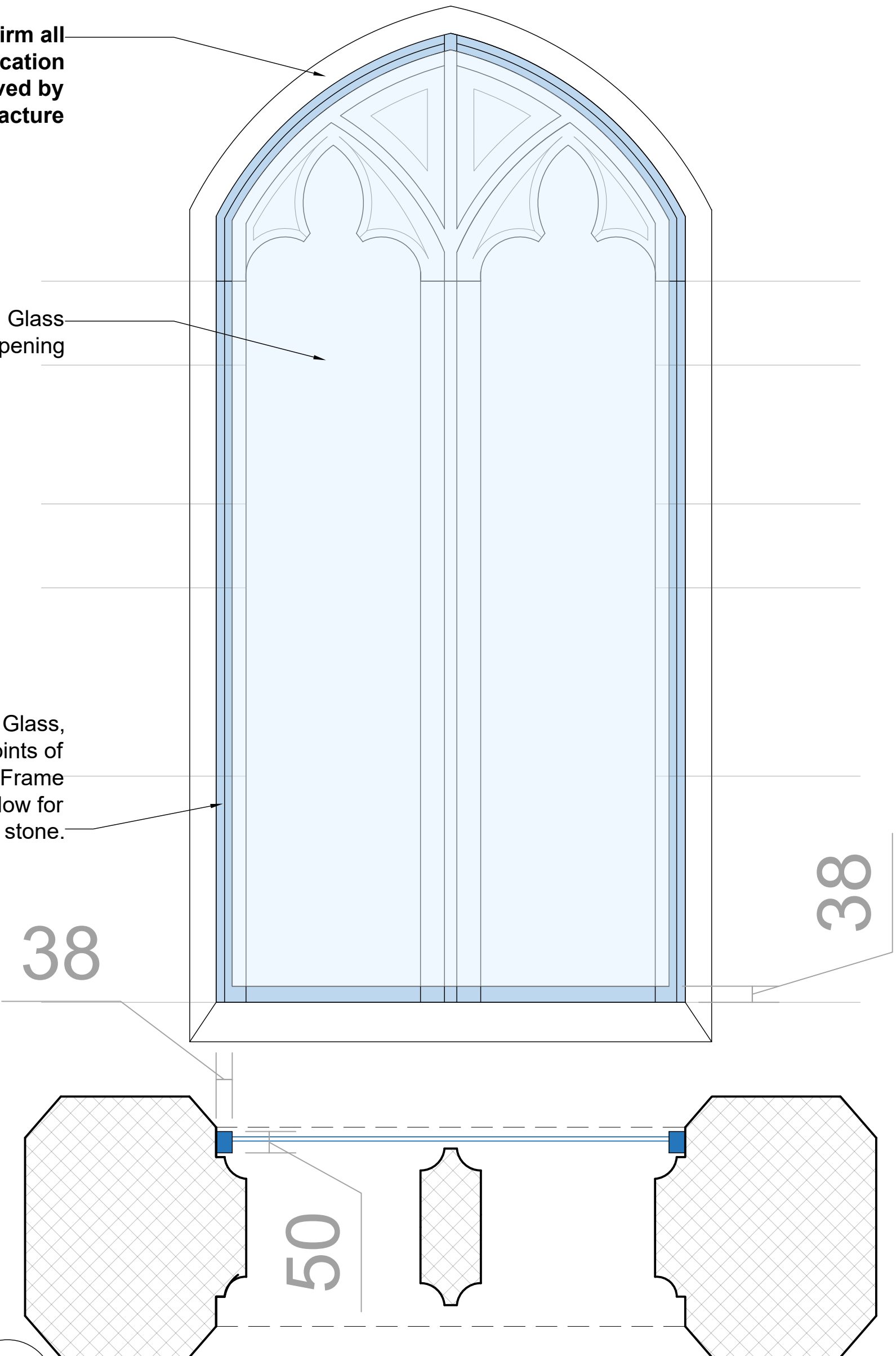
02 Ground Floor As Proposed
3202 1:20 @ A1



Existing Condition



03 Elevation and Plan As Existing
3202 1:10 @ A1



03 Elevation and Plan As Proposed
3202 1:10 @ A1

Hatch Key:

Coloured areas of hatch on interior Plans and Elevations indicate proposed fixtures, fittings or built fabric, proposed to be inserted, as below:

- (Light Blue) - Proposed to be added, viewed in elevation.
- (Dark Blue) - Proposed to be added, viewed in Section.

Dimensions have been taken from drawings received, and a site measure will be required by the glazing manufacturer prior to order and fabrication. All contractor shop drawings to be approved by Architect prior to commencing manufacture.

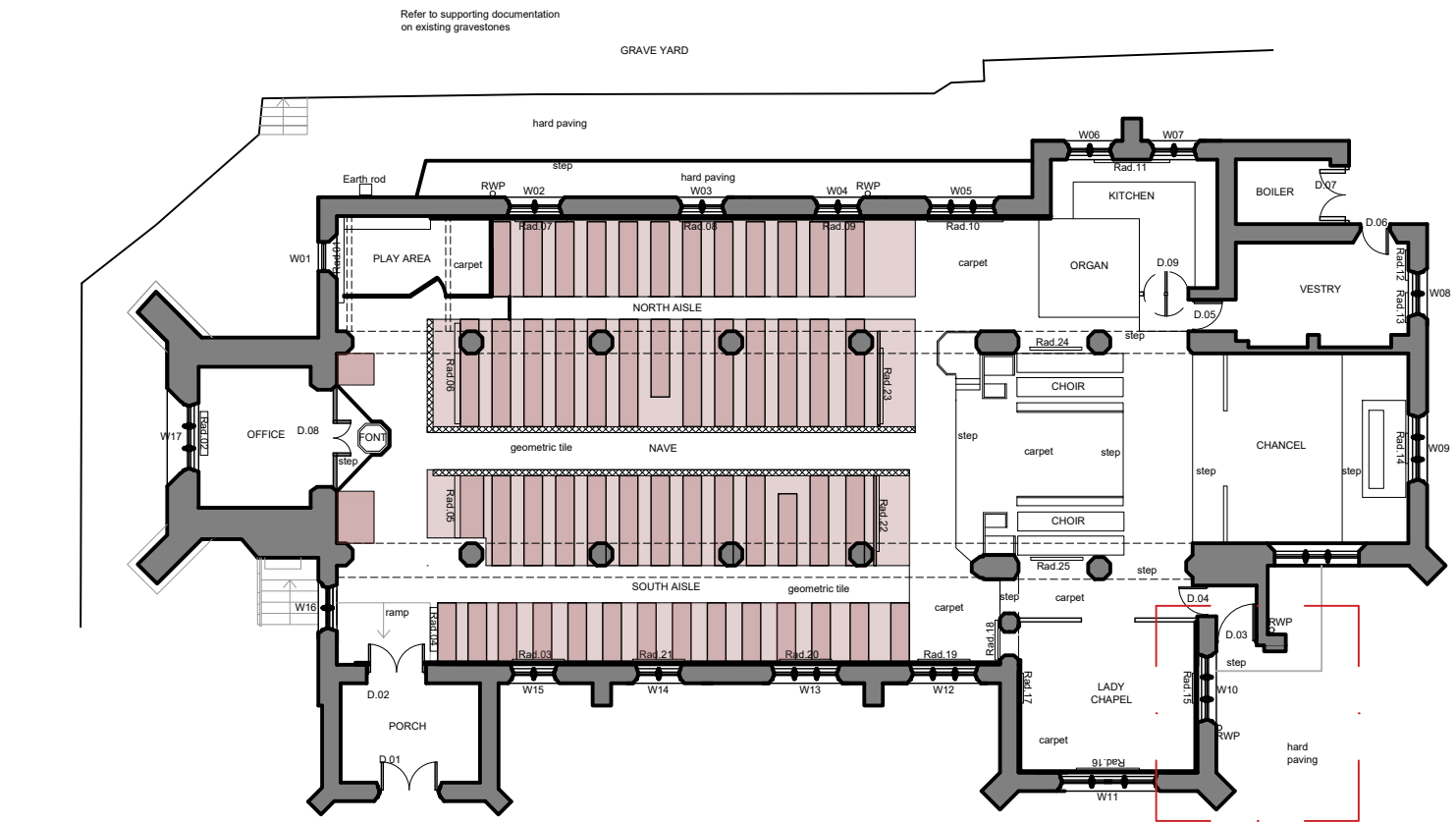
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Rev	Date	Dwn	Auth	Revision
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Rev	Date	Dwn	Auth	Revision
1	25-09-23	CJW	TB	Adjustment to frames
0	12-12-22	LXW	TB	Initial Issue - to manufacturer, ion (backdated)

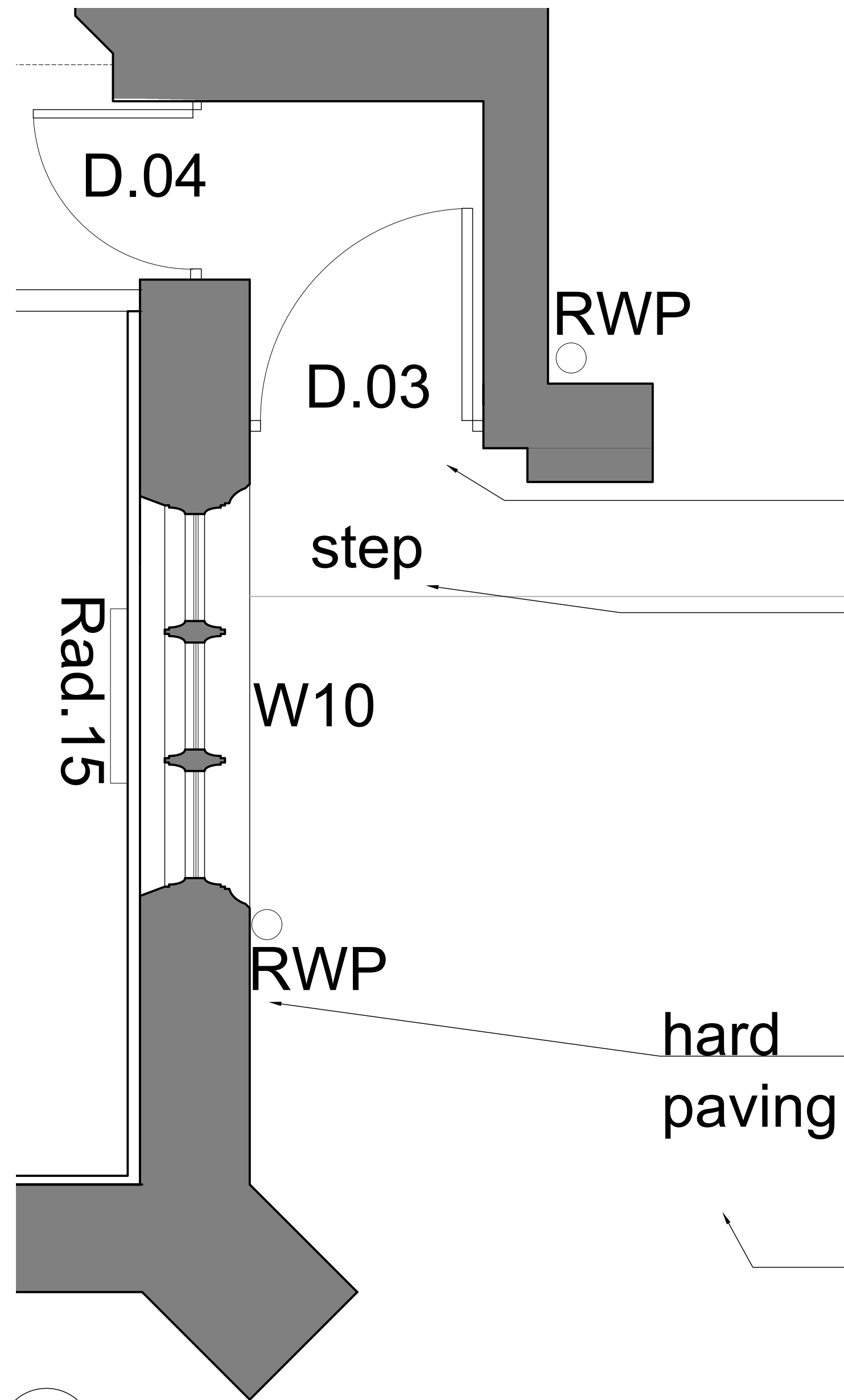
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St James' Church, Christleton			
South Aisle to Meeting/Prayer Room Opening As Proposed		Project CD.STJC.04	No 3202
Scale (A1) 1:var		Status 4T	Revision 1



01 Ground Floor - As Existing
3203 1:200 @ A1



Existing Condition



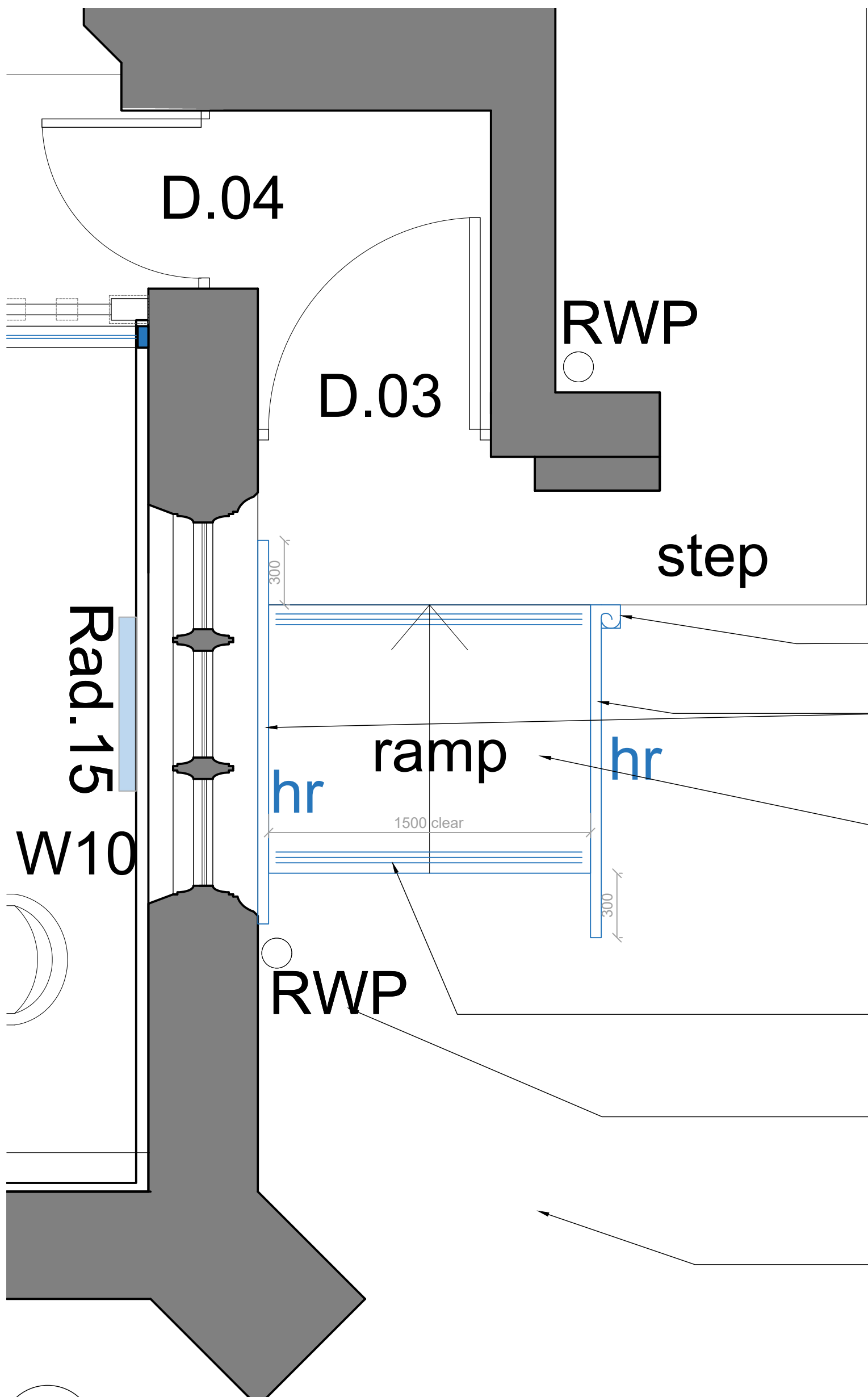
01 Ground Floor - As Existing
3913 1:20 @ A1

Existing rear entrance to the Church, often used for access to morning worship

Existing stone step (105mm rise) to be extended into a ramp.

Existing RWP with gully to base

Existing tarmac hard paving



02 Ground Floor - As Proposed
3913 1:20 @ A1

Minimum 50mm from end of handrail to rwp. Confirm dimension onsite

20x20mm round balusters

Existing hard paving removed locally to allow flush finish of top of stone ramp and top of hard paving

Sturdy newel post at junction of stair and ramp

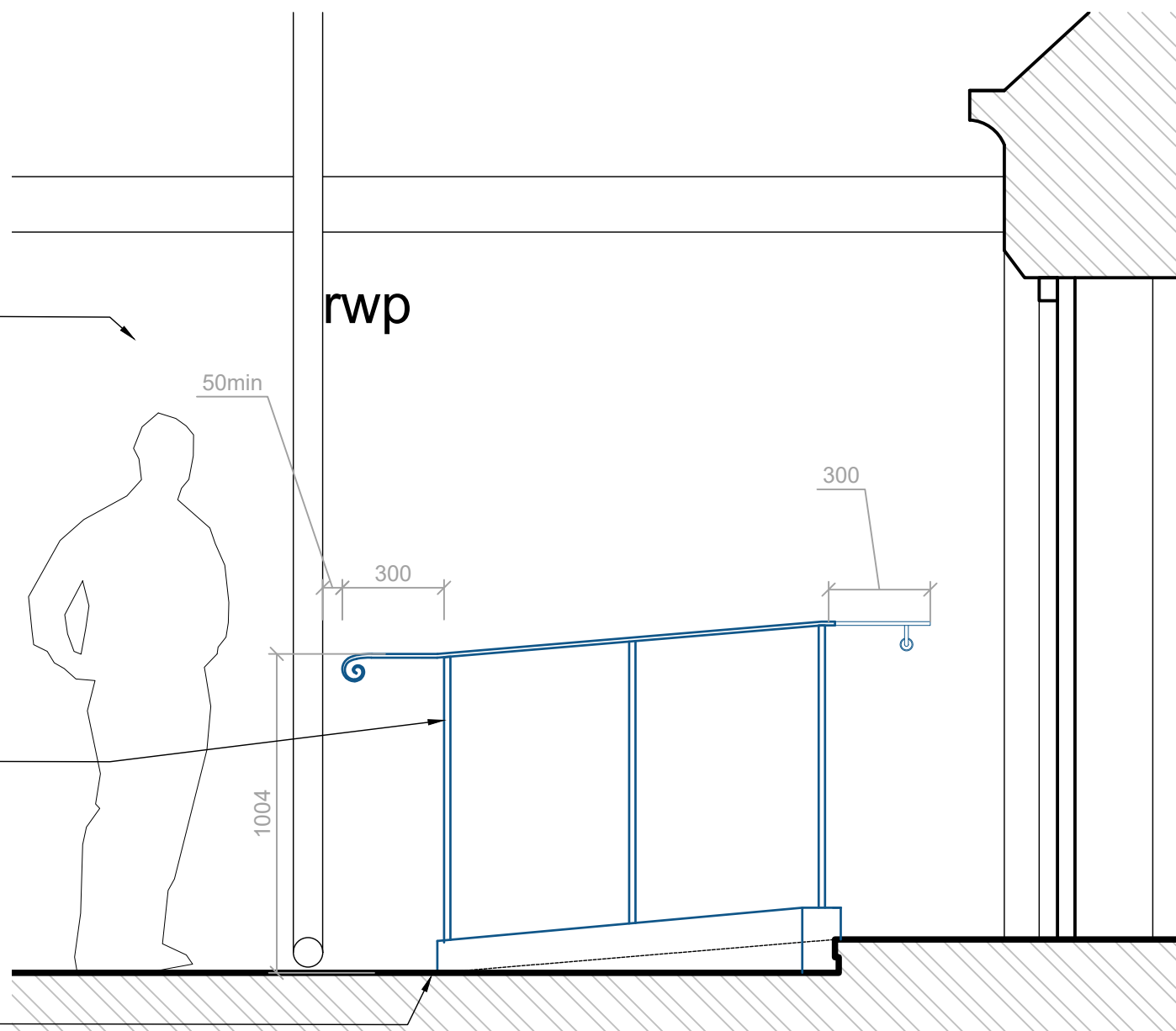
New galvanised & painted metal handrail to convex square edge flat 40mmx12mmx6mm. Colour to be confirmed. To be approved by Architect by shop drawing.

New ramp to stone to match the adjacent existing step. To achieve a 1:12 gradient or shallower

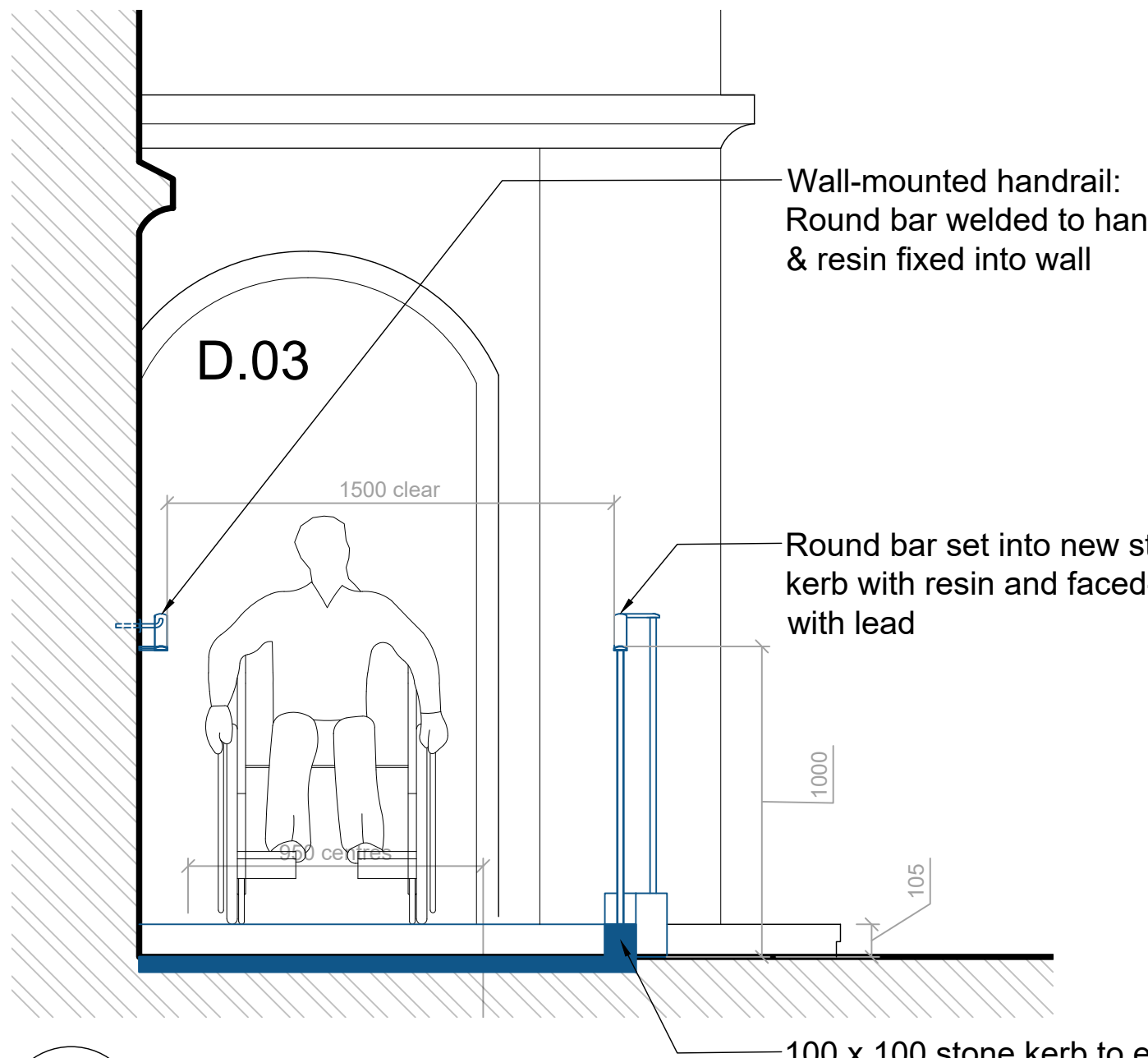
3no. raised tactile metal strips routed into new stone to top and bottom of ramp

Existing RWP with gully to base (confirm location onsite)

Existing tarmac hard paving



03 Long Elevation - As Proposed
3913 1:20 @ A1



04 Cross Section - As Proposed
3913 1:20 @ A1

Notes	
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Drawing Status	
F	Feasibility
S	Sketch Design
P	Planning
B	Building Control
D	Developed Design
M	Measurement
T	Tender
C	Construction
R	Record

Rev	Date	Dwn	Auth	Revision
0	13-11-23	LXW	TB	Refer to drawing

Rev	Date	Dwn	Auth	Revision
0	13-11-23	LXW	TB	Refer to drawing

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St James' Church, Christleton			
Meeting/Prayer Room As Existing	Project CD.STJC.04	No 3913	
	Scale (A1) 1:var	Status 4T	Revision 0

1. Existing radiator to metal grille in flooring to be pressure tested and flushed for retained use.

2. All new radiators to be centred under windows.

Existing low-level services to be re-routed to avoid obstructing the new proposed Door (D.11). Confirm extent onsite

3. All existing radiator furniture to be retained. Existing radiators to be replaced and pipes re-routed as required

Existing multi-fin 'hospital style' radiator to be removed and new replacement radiator located at wall

02 Ground Floor - As Existing
3200 1:20 @ A1

- Notes
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Drawing Status

F Feasibility
S Sketch Design
P Planning
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D Developed Design
M Measurement
T Tender
C Construction
R Record

Rev	Date	Dwn	Auth	Revision	Rev	Date	Dwn	Auth	Revision
					0	13-11-23	SRS	TB	Refer to drawing

GENERAL NOTES

Radiators

The church is heated by gas. There are 2 boilers in an area attached to the church. One is an auxiliary boiler in case one fails. There are multiple radiators in the church including the Lady Chapel. The boiler was replaced 7 years ago and the radiators possibly date back to the 1960s/1970s. As such, it is proposed that all radiators are replaced unless noted otherwise.

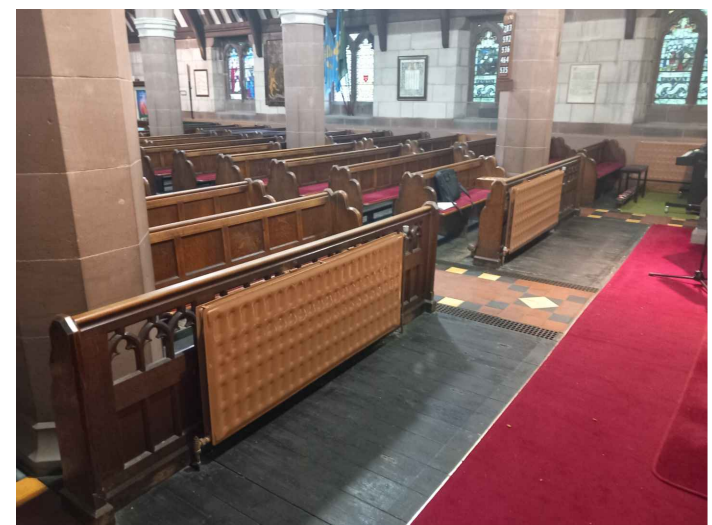
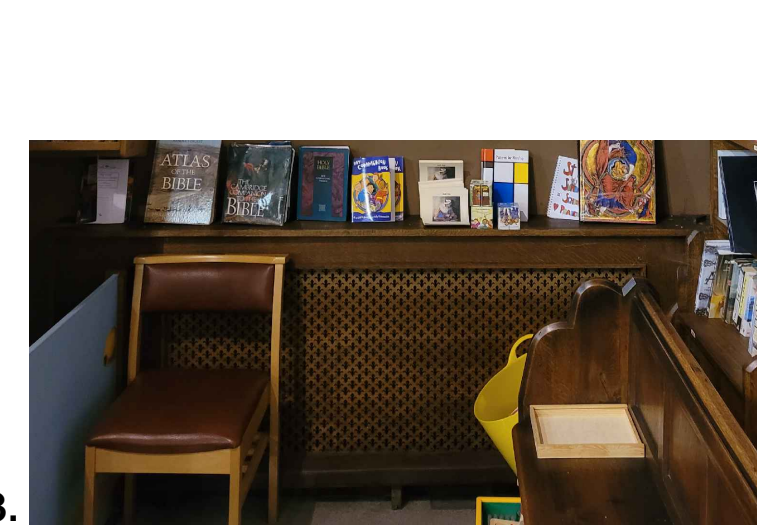
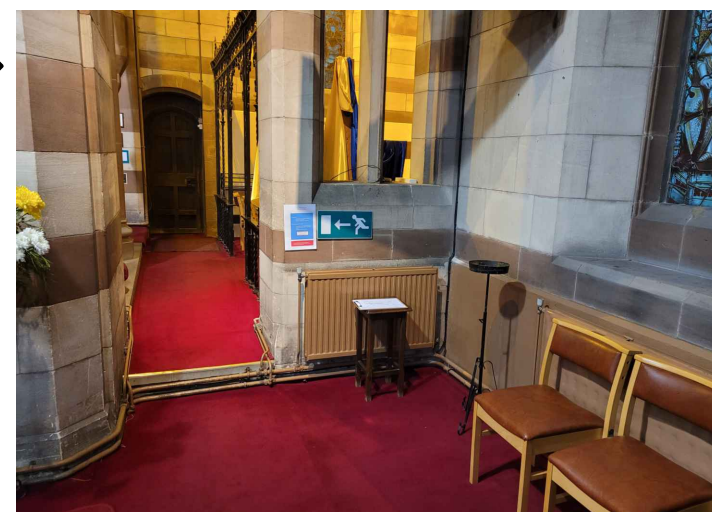
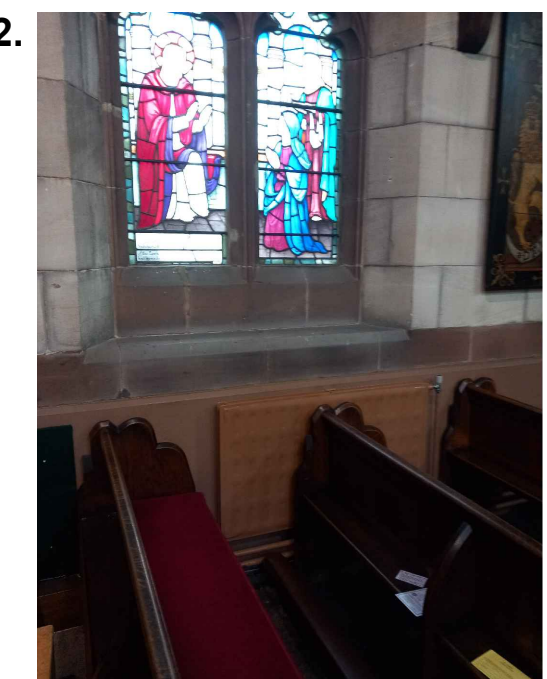
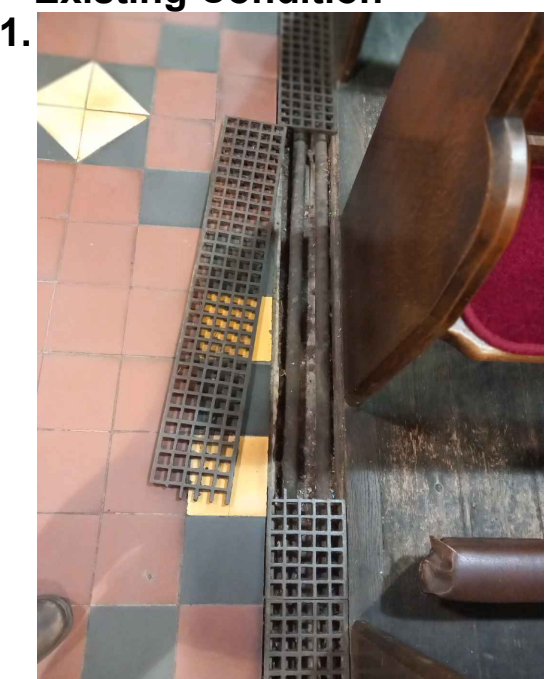
New radiators and associated elements as per Specification. Locations and sizes for new radiators to be agreed with Architect onsite prior to order. All products to be installed to Manufacturer's instructions. All associated pipework to be flushed and pressure tested. All pipework to be rationalised to suit the proposed layout. Heating system to be upgraded to suit altered capacity to Contractor design.

All radiators to painted finish to match the lined stone wall. Paint to non-RAL colour to be agreed by 3no. onsite samples.

Confirm extent of existing timber radiator furniture onsite, all existing timber radiator furniture to be retained and new radiators to be incorporated into same.

Refer to the new proposed Ground Floor extension drawing for heating to the new extension

Sample Images of the Existing Condition



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Proposed Works to Existing Radiators

Project	CD.STJC.04	No	3914
Scale (A1)	1:100	Status	4T
		Revision	0

GENERAL NOTES

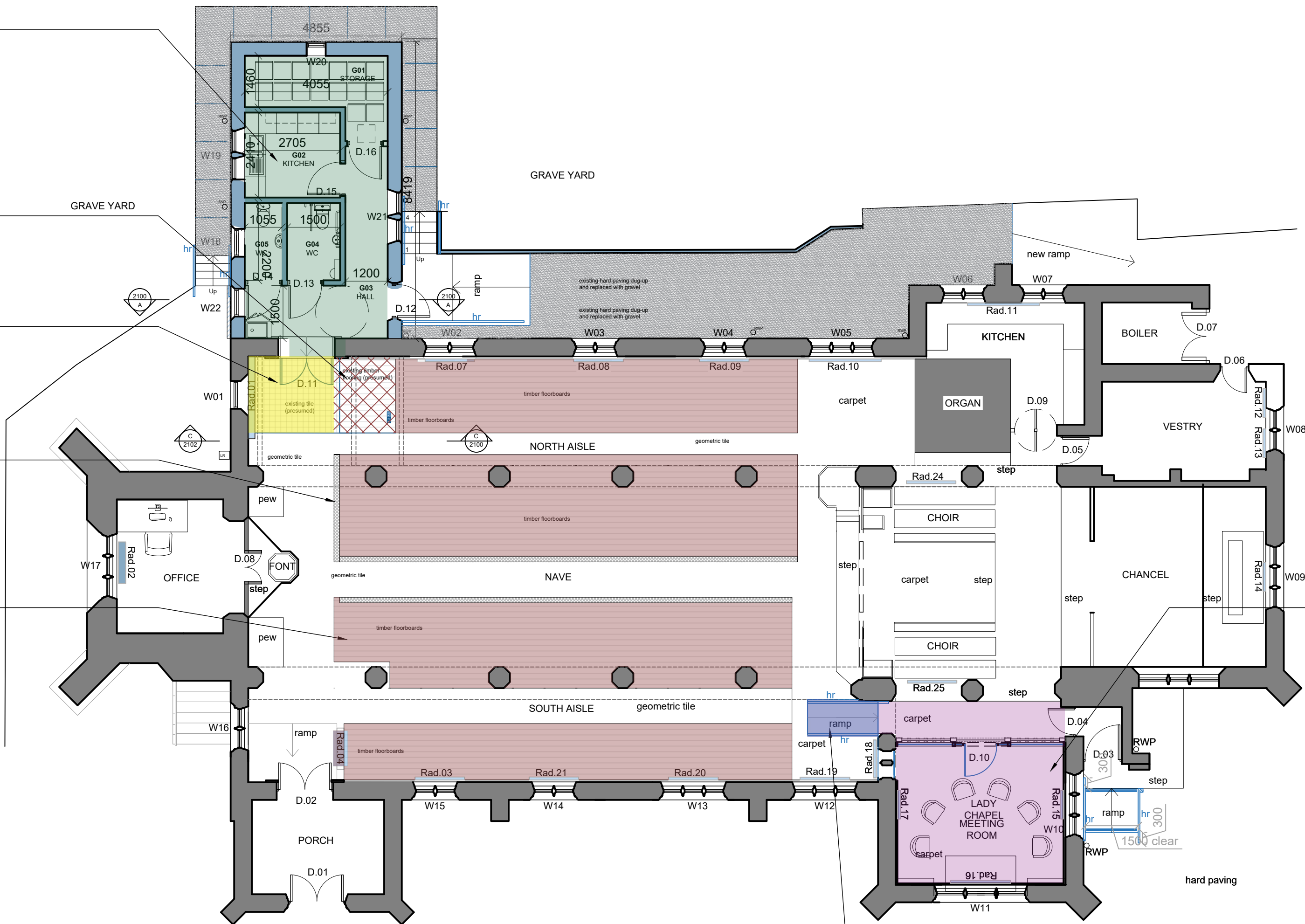
This drawing is indicative only, confirm full extent onsite.
All products to be installed to Manufacturer's instructions.

Hatch Key:

- (Light Blue) - New proposed, viewed in elevation.
- (Dark Blue) - New proposed, viewed in Section.

Please note dimensions have been taken from plans received, and a site measure will be required prior to order and fabrication.

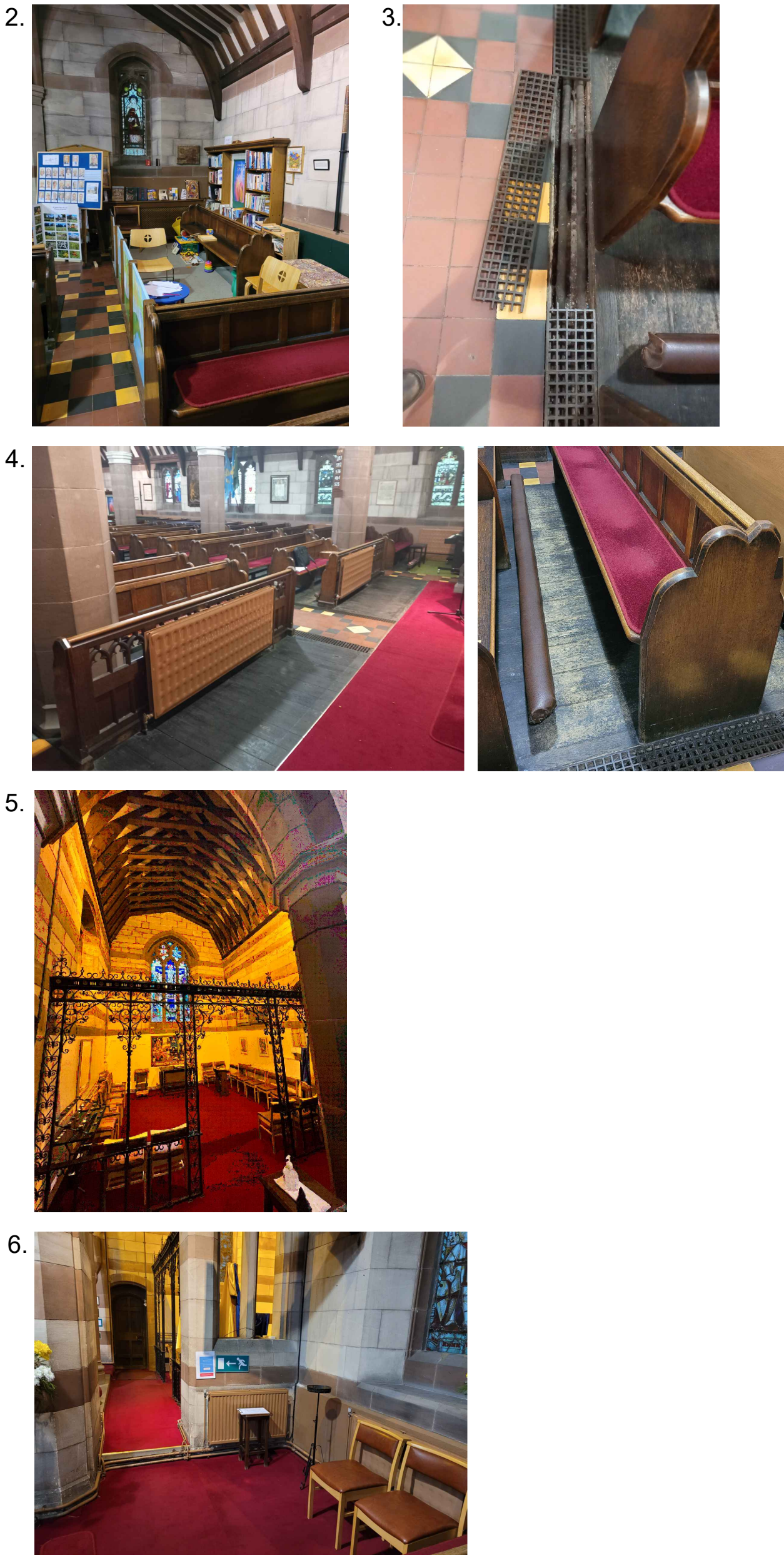
1. New floor, to vinyl approved by Client.
Vinyl to slip-resistant product
2. Existing carpet removed and existing floor underneath made good. Presumed existing floorboards under carpet, remove carpet residue and treat as per the adjacent timber flooring
2. Existing carpet removed and existing floor underneath made good. Presumed existing geometric floor tile under carpet, to be cleaned.
3. Existing metal floor grilles to be retained.
Clean and refit.
4. Existing timber flooring, drawing is indicative only, confirm the full extent onsite.
Make-good as required when removing elements to include radiators, pews, etc.
Re-stain to colour approved with Architect.
Surface to be thoroughly prepared before new finish application by sanding.
3no. test sample stains to be prepared for Architect approval onsite.



5. Existing carpet removed and floor made ready for new carpet installation by Client. New carpet installation to be supplied and fit in a separate scope of works

6. Existing carpet removed locally to accommodate the new ramp, to be made good as required. Ramp surface to be made ready for new carpet installation. New carpet to be supplied and fit in a separate scope of works.

Sample Images of the Existing Condition



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Revision		Date		Dwn		Auth		Revision	
0	13-11-23	SRS	TB	Refer to drawing	Rev	Date	Dwn	Auth	Revision

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St James' Church, Christleton

Proposed Internal Floor Finishes

Project		No	
CD.STJC.04		3916	
Scale (A1)		Status	Revision
1:var		4T	0